



# 4 Seasons Home Inspection, LLC

150 Maple Avenue, #128, South Plainfield, NJ 07080  
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**Mr. Buyer**

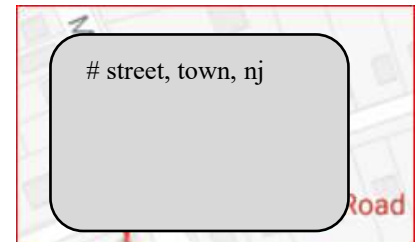
**# street**

**Town, NJ xxxxx**

Please carefully read the following inspection report in its entirety and the Scope of Inspection. The inspection was a visual inspection and performed accordingly to the New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection. Inspection behind walls, ceilings, flooring or other covered surfaces is excluded from a visual home inspection. That would involve destructive measures to see behind them. A copy was emailed to you if email is available and enclosed with your hard copies for your review if paper copy requested. The home inspection report and any other applicable reports (radon, wood destroying insects) are emailed to you, your attorney or realtor if indicated by initialing appropriate areas on last page of Pre-inspection agreement. If a hard copy was ordered on the last page of your agreement, then and only then will a hard copy be mailed via USPS. Please read all addenda and supplementary attachments. Pursuant to 13:40-15.2 Definitions "Home inspection report," all items in report must not be ignored where recommendations made regarding the need to repair, replace or monitor a system or component, or to obtain examination or evaluation and analysis by a qualified professional, tradesman or service technician. Please call us with any questions or concerns that you may have so that they may be promptly answered before your closing. If recommendations not acted upon or followed up with sellers before closing, it will be solely your responsibility for repairs and costs incurred by not following report recommendations.

## RECEIPT

Inspection Date: January 23, 2018 Tuesday 10am- 2:30pm  
Client Name: buyer name (buyer@gmail.com)  
Inspection Address: # street, town, NJ xxxxx  
Inspected by: Linda Geczi home inspection lic. #24GI00061500



## BUILDING DATA

Approximate Age: ~1994  
Style: Single family  
Prefab/modular (attic & basement 2 halves visible)  
Main Entrance Faces: E  
State of Occupancy: Vacant  
Weather Conditions: 45-50°F  
Ground cover: wet

Home Inspection:	\$----.00
Termite:	INCL.
Radon	\$----.00
<b>Total:</b>	<b>\$ ----.00</b>

Paid by: cash

NOTE: home not properly winterized- ruptured heating pipes/baseboards

Cc: Lawyer

**Overview and Main Concerns (p.2-5) and detailed report follow this page (6-67)**

This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

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Recommend qualified state registered contractors or licensed professionals further evaluate, address the following defects/deficiencies and/or make repairs and inspect inaccessible areas **before closing and contractual limitations** or obligations.<sup>1</sup> The items in the report are **“Recommendations”** and it is up to the buyer and seller to discuss these and is **not a mandate or a code inspection**. Responsibilities of repairs, negotiations, appraisals, obtaining all closed permits for work done to home, property survey/boarders, mortgages, costs of repairs/estimates, advise on purchase, etc. **are not** part of a home inspection and should be discussed with your **Attorney**. Refer to Standards of Practice 13:40-15.16 and Pre-Inspection Agreement 13:40.15.15. **READ entire REPORT and recommendations.\*\***

**Overview :** The home was not properly winterized; frozen/ruptured plumbing, fixtures, hydronic baseboard heating components & distribution piping, fitting, etc. There was visible water inside numerous ruptured baseboards from basement up to the second floor. There was leaking from the old corroded boiler off the TPR & pipe extension. Walls and ceilings should be opened up to determined the extent of water damage, baseboard/distribution and boiler replacement as well as replacement of plumbing or piping distribution to all points of water use (bathrooms, kitchen, laundry, exterior hose bibs, boiler, water heater, etc.). The water meter was found removed and a plugged on street side of pipe.

The home has been neglected and systems & components were in poor condition. Systems include but are not limited to roof/gutters/ventilation, siding/trim/exterior, windows & doors/front door assembly, heating & cooling, radon mitigation system, interior/kitchen/bathrooms, grading & drainage and structure (sloped floors/deflection/squeaking, canted doorways, vertical/step cracks/differential settlement, separation on ridge boards in attic), wood destroying insects (termite, carpenter ant, carpenter bee), etc.

The home is **uninhabitable** in current condition without properly functioning heat/cooling, plumbing, bathrooms, kitchen and exterior envelop protection (siding, doors, windows, roof, gutters, etc.). It is strongly recommended to have a qualified building contractor, heating contractor, licensed plumber and a structural engineer (PE) evaluate the home and advise on restoration of the home for habitability.

The following are a break down of these concerns and the report follows with more details and photos.

- STRUCTURE/SLOPED FLOORING/FOUNDATION CRACKS :** There was sloped flooring in this room, second floor and throughout the home. See structural comments; further evaluate sloped flooring, canted doorways, foundation cracks, etc. by a building contractor and structural engineer (PE) before closing & contractual limitations. The lally columns was weeping or heavy condensate on it; have evaluated by structural carpenter. These columns should not be sweating to avoid corrosion and rusting that can diminish the structural integrity

- 2. PLUMBING/HEAT/WINTERIZED:** The home has been vacant, no heat and no water at time of inspection. The water meter was found apart/removed and a plug in pipe on street side. The home was *not properly winterized*; frozen/ruptured plumbing, fixtures, hydronic baseboard heating components & distribution piping, fitting, etc. There was visible water inside numerous ruptured baseboards from basement up to the second floor. There was leaking from the old corroded boiler off the TPR & pipe extension. Walls and ceilings should be opened up to determine the extent of water damage, baseboard/distribution and boiler replacement as well as plumbing or piping distribution to all points of water use (bathrooms, kitchen, laundry, exterior hose bibs, boiler, water heater, etc.). Leaking in the home was active and coming from several sources : plumbing, hydronic baseboard heat, roof, siding, windows and doors. The water heater was approximately 25 yrs old and poor condition; past life replace unit. There were frozen/broken spigots/tub fixture, active leaking plumbing throughout the home. Recommend a licensed master plumber evaluate the plumbing and heating and advise on repairs/replacements. A building contractor must determine all concealed water or mold like damage.
- 3. MOLD LIKE/ENVIRONMENTAL/RADON SYSTEM/SMOKE & CO/FIRE :** There was suspicious black and brown spotting, dark stains, and a strong musty/moldy odor in the home on drywall and surfaces in the basement, garage (rafters, radon piping & fan) and interior rooms. Testing recommended and further evaluation by qualified environmental/ mold contractor. The radon fan was leaking water/moisture and staining on the components. Recommend a radon mitigation company evaluate the radon system and advise on repairs/replacement. There was missing smoke and CO detectors in the home. Follow up with the township for requirements before closing. Recommend drywall in garage for firewall protection and a fire door with self closure hinges for fire safety.
- 4. HEATING/DAMAGED/FROZEN BASEBOARDS & PIPING/BLACK WATER:** The home was not properly winterized and boiler was in poor condition; frozen/ruptured plumbing, fixtures, hydronic baseboard heating components & distribution piping, fitting, etc. There was visible water inside numerous ruptured baseboards from basement up to the second floor. The 25 yr. old corroded Burnham boiler was leaking off the TPR & pipe extension, scorch marks on wires, patched/soldered copper piping, dissimilar metal & no dielectric unions, soots & rust under/on the burners, etc; poor condition. Recommend a qualified boiler/ heating contractor and licensed plumber evaluate the boiler, piping and distribution/baseboards for system replacement. Walls and ceilings should be opened up to determine the extent of water damage, baseboard/distribution and boiler replacement as well as replacement of plumbing or piping distribution to all points of water use (bathrooms, kitchen, laundry, exterior hose bibs, boiler, water heater, etc.). The water meter was found removed and a plugged on street side of pipe.

5. **SIDING/TRIM/WATER DAMAGE/FOUNDATION CRACKS:** The home has been neglected and systems and components were in poor condition and no longer protecting the house from water entry. The siding was in poor condition and sections blown off on the left of house along with torn house wrap. There was green staining/moss, dirt, artillery spores (black specks), buckled siding by the water damaged front door assembly, cracks, holes, loose siding, damaged soffits & fascia, gaps/open junctures, dried/cracked caulk, bent or missing flashings, etc. The siding and exterior components all work together to maintain a protective envelop to keep out water, wind, and weather elements. Exterior components include roof, gutters, windows, doors, siding, trim, flashings, etc. There were active leaks in the home from several sources on exterior as well as the plumbing & heating in the interior. There were several foundation cracks (vertical, step) visible on exterior and some in the basement ; very limited view due to finished basement. Recommend a building contractor evaluate exterior systems & components (roof/gutters, siding/trim, doors, windows, steps, etc.) and foundation cracks and advise on all repairs to restore the protective exterior envelop and repair foundation cracks.
  
6. **GRADING & DRAINAGE/SEEPAGE/PONDING WATER :** The yard was ponding water, ruts, soggy, muddy, holes, erosion and poor drainage in yard. There was observed seepage in the basement and garage. Recommend a grading & drainage contractor and wet basement contractor evaluate and advise on grading & drainage, erosion control and water management systems.
  
7. **ROOF/GUTTERS/SOFFITS/VENTILATION :** The roof was past its life; active leaking, cupping, curling, cracks, nail pops, moss, widening keyways, active leaks & water stains. The gutters were hanging/disconnected in front, missing parts, spillage/leaking and ruts in soil below gutters. The home and exterior temperature was 50F and the attic was almost 20F hotter ( 67F); poor ventilation. Recommend a roofer evaluate for tear off, new roof, gutters and ventilation.
  
8. **DECK/STEPS/DRIVEWAY/FRONT DOOR:** The deck was unsafe and dangerous; do not walk upon decking. Decking was sinking, sloped, pulling away from house, broken lumber/boards, slimy/moss impregnated, nail pops, cracked wood, improperly sized joist hangers, etc. Do not use the deck ; dangerous. The driveway was cracked and damaged. The front steps were damaged and the front door assembly was protruding out, water damaged, buckled siding around door/steps, dark staining/mold-like. Recommend a building contractor evaluate the steps, driveway, front door assembly for replacement and determine all concealed damage.
  
9. **FRONT DOORASSEMBLY/SLIDERS/EXTERIOR DOORS/WINDOWS:** The windows, exterior doors and garage doors were in poor condition; canted, broken vapor seals, difficult to open/close, broken sash strings, broken locks, daylight & drafts, broken glass, leaking, etc. Recommend a window & door installer, building contractor or carpenter and an overhead garage door company evaluate all windows, doors and garage doors for replacements. The building contractor and/or carpenter must determine extent of damage including concealed or hidden damage (water, wood destroying insects, mold like, etc.).

10. **WOOD DESTROYING INSECTS:** See separate NPMA-33 Termite & other wood destroying insect report. There was termite, carpenter bee and carpenter ant observed.
11. **ELECTRICAL:** There were several light bulbs or fixtures in home not working. The wiring under sink was unsafe/handyman/dangerous. The outlets on kitchen counter top did not trip when GFCI outlet tested; unsafe. There were wires hanging out of ceiling; unsafe. Have a licensed electrician evaluate/repair/correct for safety. The lights go off in the main bathroom on 2nd floor when the GFCI outlet tested/tripped. Recommend a licensed electrician evaluate for separation. There were several handyman installed junction boxes in the closed in an open access panel in bedroom # 3. Have a licensed electrician evaluate and make repairs for safety; unconventional wiring.

<sup>1</sup> **Pursuant to NJAC 13:40-15.2 Definitions:**

“Material defect” means a condition, or a functional aspect, of a structural component or system that is readily ascertainable during a home inspection that substantially affects the **value, habitability, or safety of the dwelling**, but does not include decorative, stylistic, cosmetic, or aesthetic aspects of the system, structure or component.

**\*\* Any and All recommendations noted in this report either written or verbal, advised either further evaluation, repair and/or replacement should be completed prior to the home inspection contingency expiring and/or any other contractual obligation expires.\*\***

## **SUMMARY**

Repairs are recommended for any comments or defects that are stated in this report. Every home must be regularly maintained and will require repairs. Problems will occur and things will break. This report is designed to help reduce the possibility, but will not eliminate them from happening. Issues can and will arise at any time. Budget accordingly to maintain the home. Recommend checking with local authorities/townships/city/Boro/county/state for required & closed permits on additions and alterations before closing & contractual obligations. ***Please be advised that it is important to read the entire report and the remarks pages that are sent separately to the client. These remarks pages contain important maintenance information that the client needs to be aware of.*** All homes will need repairs, routine maintenance and upgrades over the course of its life. Addressing plumbing, heating, electrical, grading & drainage, roof/gutters and other mechanical problems or issues as they occur, with qualified registered contractors and/or licensed professionals, should be done to keep home maintained properly. Older homes will often require structural upgrades when renovations are made. These will be dictated by the engineer and or architect designing the renovation or modification to bring structure up to current building practices and township specifications and as per the local, county or state building codes. A home inspection is **NOT** a code inspection. It is recommended to obtain all closed township permits for history of home before closing & contractual limitations. Recommend a "Home Warranty" or maintenance service; check with the realtor, lawyer or insurance companies in the service areas to help cover costs of repairs, replacements and schedule service/maintenance on all systems in the home. Roof leaks are number one cause of water damage to interior of home. Damage can often be concealed inside walls of interior and often revealed either when renovations are done or when water issue is ongoing for a period of time. Water damage can include structural as well as environmental manifestations such as mold and mildew among others. All roofs should be inspected yearly, gutters cleaned several times a year. These systems must be maintained, repaired or replaced as per the tradesman, contractor or professional to provide a watertight cladding to protect the home. Often a damage found does not necessarily correspond to the roof directly above, but at some other part of the roof. Water can travel below the surfaces of roof and end up in any number of places that are hidden or concealed. Roof penetrations, plumbing vents, skylights, chimneys, etc. must be checked yearly for leaks. A general visual home inspection cannot open up walls, ceilings, flooring or guess what is behind them. This uncertainty is always possible when roof, flashing, siding and all exterior systems are not maintained.

***"If there is anything in the report that you do not understand you must contact us promptly prior to closing. If not addressed, any ignored item(s), misunderstood or overlooked as to their importance and implication(s,) can and frequently do, result in negative outcome and incur costs to repair or replace."*** Please read **REMARKS addendum** as it is part of the report and contains important information. Any areas reported as inaccessible and not inspected or evaluated must be made accessible and inspected prior to the closing.

### **All items must be addressed and repaired prior to closing & contractual limitations.**

Recommend qualified registered contractors or licensed professionals further evaluate, address defects and/or make repairs before closing and contractual limitations or obligations. Responsibilities of repairs, negotiations, appraisals, property survey/boards, mortgages, costs of repairs/estimates, advise on purchase, etc. are not part of a home inspection and should be discussed with your Attorney. Refer to Standards of Practice 13:40-15.16 and Pre-Inspection Agreement 13:40.15.15 that were sent out/emailed immediately when the inspection was booked/scheduled to see the scope of inspection, what is covered, not covered and limitations, obstructions, inaccessible areas, etc. Homes cannot be damaged or coverings removed (walls, ceilings, carpeting, flooring, etc.), storage, personal items, furniture, etc. manipulated in a visual non-invasive home inspection.

**READ entire REPORT** and recommendations by following up with the licensed professionals & state registered contractors for further evaluations, seller's permission for more technically exhaustive/invasive evaluations, repairs and/or replacements where concerns, defects, deficiencies or concerns reported immediately before taking ownership and closing.

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\* Items listed in this report may inadvertently have been left off the Summary Sheet. Customer should read the entire report, including the Remarks. Boxed area may have been checked or unchecked inadvertently- written comments are most important and purposely written into report, which may not reflect boxed area checked. Call with any questions you may have before closing and contractual limitations. **Note that corrections, additions or amendments to report may be made after initial report if deemed necessary by the inspector and sent to you, your lawyer or realtor as indicated on the Pre-inspection agreement.**

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# REPORT OVERVIEW

## THE HOUSE IN PERSPECTIVE

### **CONVENTIONS USED IN THIS REPORT- ALL SYSTEMS IN HOME MUST BE SERVICED YEARLY AND PROPERLY MAINTAINED AND UPGRADED AS THEY AGE**

**SATISFACTORY\*** - Indicates the component is functionally consistent with its original purpose but show signs of normal wear and tear and deterioration and will need maintenance or repairs at any time over its life. Plan and budget for these repairs, replacement and upgrades. Have systems must be serviced regularly and maintained and check the manufacturer’s limited warranty and if transferrable.

**MARGINAL \*** - Indicates the component needs repairs, upgrade, monitor and/or replacement anytime over its life. Plan and budget for these repairs, replacement and upgrades. Defects exist- have evaluated and repaired.

**POOR\*** - Indicates the component needs repair or replacement now. Defects exist- have evaluated and repaired.

**SAFETY HAZARD\*** - Denotes a condition that is unsafe and in need of prompt immediate attention now. Defects or deficiencies exist that pose a danger or unsafe condition.

**\*NOTE:** All observations or comments reported in this written report should obtain examination and analysis by a qualified professional, tradesman or service technician for that concern, defect or repair prior to closing for cost of repairs, replacement or upgrade.

## **THE SCOPE OF THE INSPECTION (READ & UNDERSTAND)**

All components designated for inspection in the **New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection** except as may be noted in the “Limitations of Inspection” sections within this report. It is the goal of the inspection to put a homebuyer in a better position to make a buying decision. This inspection should not be considered as an opinion or as advice as whether or not to purchase the property. Not all recommendations will be identified during this inspection. It is not our job or function to fix or solve a problem. We report on the conditions at time of inspection and recommend a specialist to further evaluate and advise on cost of repairs or remedy. Home inspectors are “Generalists” not experts or builders. A home inspection is not a CODE inspection. ***\*A certificate of occupancy or habitability should be obtained before closing. Township code officers perform code inspections for that certificate; not home inspectors.*** Code issues may arise that need corrections that are not part of a general home inspection and should be addressed before closing. Unexpected repairs as well as maintenance should still be anticipated. All systems and building structure will age and need repairs regardless of the age of home. Plan and budget accordingly. The inspection is not considered a guarantee or warranty of any kind. It is a snap shot in time and conditions will change with time. A “Home Warranty” is readily available from most realtor offices or on the market to help defray the cost of repairs during the life of a home. We strongly recommend this and all other forms of service plans for HVAC and insurance on sewer and water main lines.

In addition to the NJ standards, please refer to the pre-inspection agreement/contract according to NJAC 13:40-15.15, for a full explanation of the scope of the inspection. All reported items of consideration in this report must be addressed for repair evaluation and cost prior to closing. Any conditions concealed, latent, inaccessible or covered up at time of inspection are NOT the responsibility or liability of the home inspector or company. Walls, ceilings, carpeting, or other forms of coverings or finished surfaces cannot be removed during a non-invasive home inspection. Therefore, to see into walls and below surfaces can only be done with a contractor that can perform invasive inspections. We cannot guess or comment on anything behind coverings and report on non-visual or concealed areas. There is always a chance for concealed damage or mold or other structural concerns within walls, floors and ceilings. ***If you are not satisfied with a visual inspection, it is recommended to engage in those contractor or trades for invasive services that can open up walls, ceilings or flooring before closing since it cannot be done in a visual home inspection with permission from seller(s).*** This is under the law in the New Jersey Standards of Practice 13:40-15.16 for a licensed home inspector in the state of New Jersey.

<p><b>We Always Miss Some Minor Things &amp; cosmetics excluded- Read Pre-Inspection agreement</b>                  The intent of the inspection is not to find minor problems or cosmetic items. It is to find major problems or defects. The minor problems that are identified were discovered while looking for more significant problems. We may note them simply as a courtesy.</p>	<p><b>Not Insurance or Warranty &amp; Not Code inspection</b>                  In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy or warranty. Concealed &amp; inaccessible areas cannot be inspected and should follow up with a contractor.</p>
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## GROUNDS

### SERVICE WALKS None *Public sidewalk needs repair*

**Material:**  Concrete pavers  Flagstone  Gravel  Brick  Other  
**Condition:**  Satisfactory  Marginal  Poor  *Trip Hazard*  
 *Pitched towards home*  *Settling cracks*  Not visible  Typical cracks

### DRIVEWAY/PARKING None

**Material:**  Concrete  Asphalt  Gravel/Dirt  Brick  Other  
**Condition:**  Satisfactory  Marginal  Poor  Replace driveway  
 *Pitched towards home*  *Trip hazard*  *Settling & Cracks*

### PORCH (COVERED ENTRANCE) None

#### STOOPS/STEPS None *Uneven risers*

**Material:**  Concrete/Brick  Wood  Other  *Railing/Balusters recommended*  
**Condition:**  Poor  *Cracked*  *Settled*  *Water Damaged*  *Safety Hazard*

#### PATIO None

#### DECK/BALCONY (*flat, floored, roofless area*) None

**Material:**  Wood  *Dangerous- do not use deck*  
**Finish:**  Treated  Painted/Stained  Other  
 *Improper attachment to house*  *Railing loose*  
**Condition:**  Satisfactory  Marginal  *Poor*  *Wood in contact with soil*

#### DECK/PATIO/PORCH COVERS None *Earth to wood contact* *Moisture/Insect damage*

#### FENCE/WALL Not evaluated in a home inspection None

#### LANDSCAPING AFFECTING FOUNDATION (See remarks page)

**Negative Grade:**  East  West  North  South  
 Driveway pitched toward the garage & house; water drains to the garage, basement  
 Poor grading & drainage, soggy, muddy, ruts, holes, ponding/standing water  
 *Recommend additional backfill*  *Recommend window wells/covers*  *Remove trees/shrubberies*  
 *Wood deck in contact with/improper clearance to soil*  Yard drains observed - not tested

**NOTE:** Sink holes and other Geological issues are NOT part of a general home inspection

#### 13:40-15.16 (f)1(v) Standards of practice

v. Vegetation, grading, drainage, and retaining walls with respect to their immediate detrimental effect on the condition of the residential building, excluding fences, geological and/or soil conditions, sea walls, break-walls, bulkheads and docks, or erosion control and earth stabilization;

#### RETAINING WALL None **Material:** *Drainage holes recommended*

#### HOSE BIBS None No anti-siphon valve

**Operates:**  Yes  No  Not tested  No water in home at time of inspection

#### GENERAL COMMENTS

**GROUNDS:** The front steps were damaged, the front door assembly was protruding out, water damaged, buckled siding around door/steps, dark staining/mold-like. Recommend a building contractor evaluate the steps and front door assembly for replacement and determine all concealed damage. See siding section comments. Recommend leveling concrete paver walkway and maintain in weed free condition for safety. The deck was unsafe and dangerous; do not walk upon decking. Decking was sinking, sloped, pulling away from house, broken lumber, slimy/moss impregnated, nail pops, cracked wood, improperly sized joist hangers, etc. Do not use the deck ; dangerous. The yard was ponding water, ruts, soggy, muddy, holes, erosion and poor drainage in yard. There was observed seepage in the basement and garage. Recommend a grading & drainage contractor and wet basement contractor evaluate and advise on grading & drainage/erosion control and water management systems. Recommend maintaining a positive pitch of soil around foundation for proper water drainage. Stones, mulch and vegetation are not recommended around foundation; tends to trap water against foundation and cause wet basements. There Trim back or cut away trees, shrubs and branches away from house. Remove trees and or branches too close to roof, structures and electrical cables/communication lines for safety. Overhanging trees and overgrowth can cause mechanical damage, moss, algae, attract carpenter ants, raccoons, squirrels or other animals. The yard was overgrown/thick brush, tall grass & weeds, trash, debris, broken items, etc.; recommend clean up. Recommend window well covers for all basement windows to keep out water, ice snow and avoid wet basement.

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**CONCERNS:**

1. The front steps were damaged, the front door assembly was protruding out, water damaged, buckled siding around door/steps, dark staining/mold-like. Recommend a building contractor evaluate the steps and front door assembly for replacement and determine all concealed damage.
2. The yard was ponding water, ruts, soggy, muddy, holes, erosion and poor drainage in yard. There was observed seepage in the basement and garage. Recommend a grading & drainage contractor and wet basement contractor evaluate and advise on grading & drainage/erosion control and water management systems.
3. The deck was unsafe and dangerous; do not walk upon decking. Decking was sinking, sloped, pulling away from house, broken lumber, slimy/moss impregnated, nail pops, cracked wood, improperly sized joist hangers, etc. Do not use the deck ; dangerous.

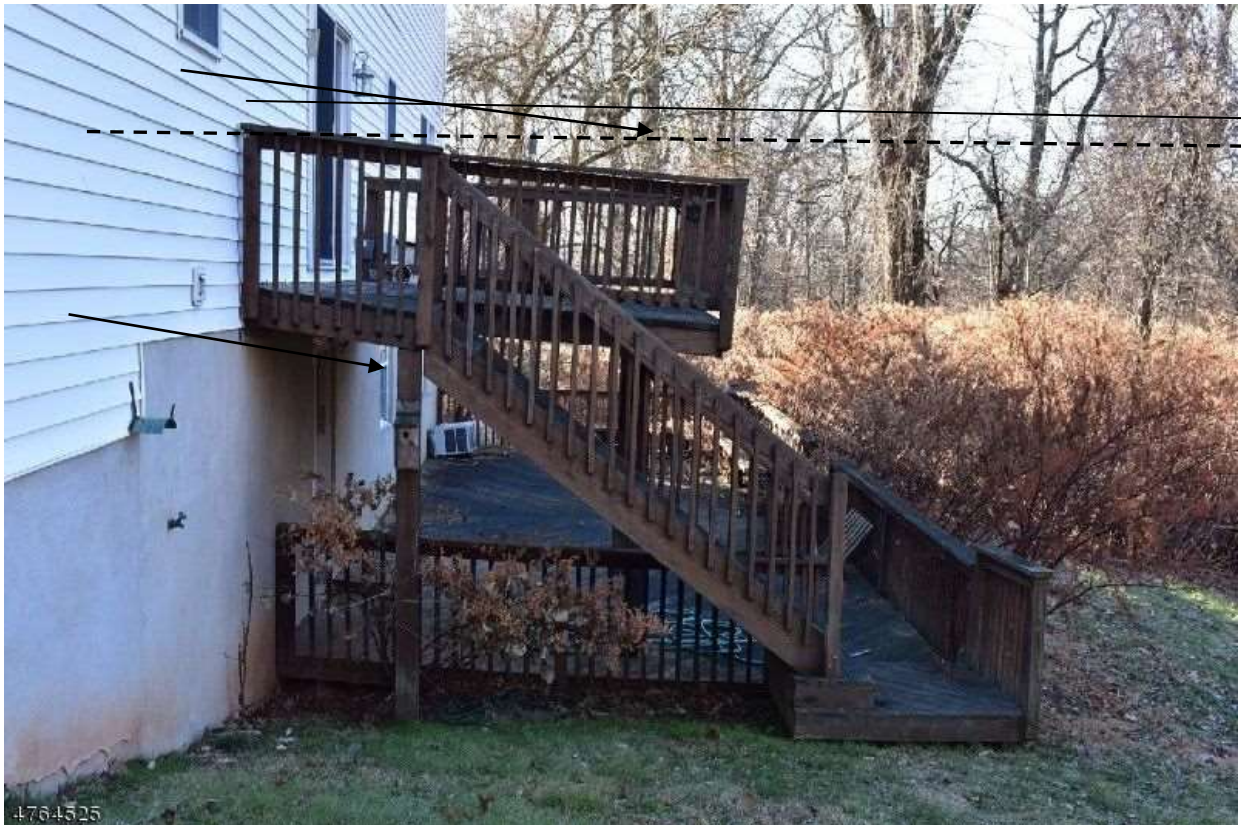


Figure 1 Lower deck sinking and built on grade or soil and upper deck and steps are sloping and pulling away from house; dangerous.



**Figure 2** Examples of negative grading and erosion; water drains toward the foundation/basement. There was observed seepage in the basement and garage. Recommend a grading & drainage contractor and wet basement contractor evaluate and advise on grading & drainage and water management systems.



**Figure 3** The front door assembly was damaged; have a building contractor evaluate for replacement including concealed damage.



**Figure 4 Example of drainage concerns. Water drains off the driveway towards the garage and ponding in the yard. The driveway had water damage, deep cracks and no drainage across the garage.**

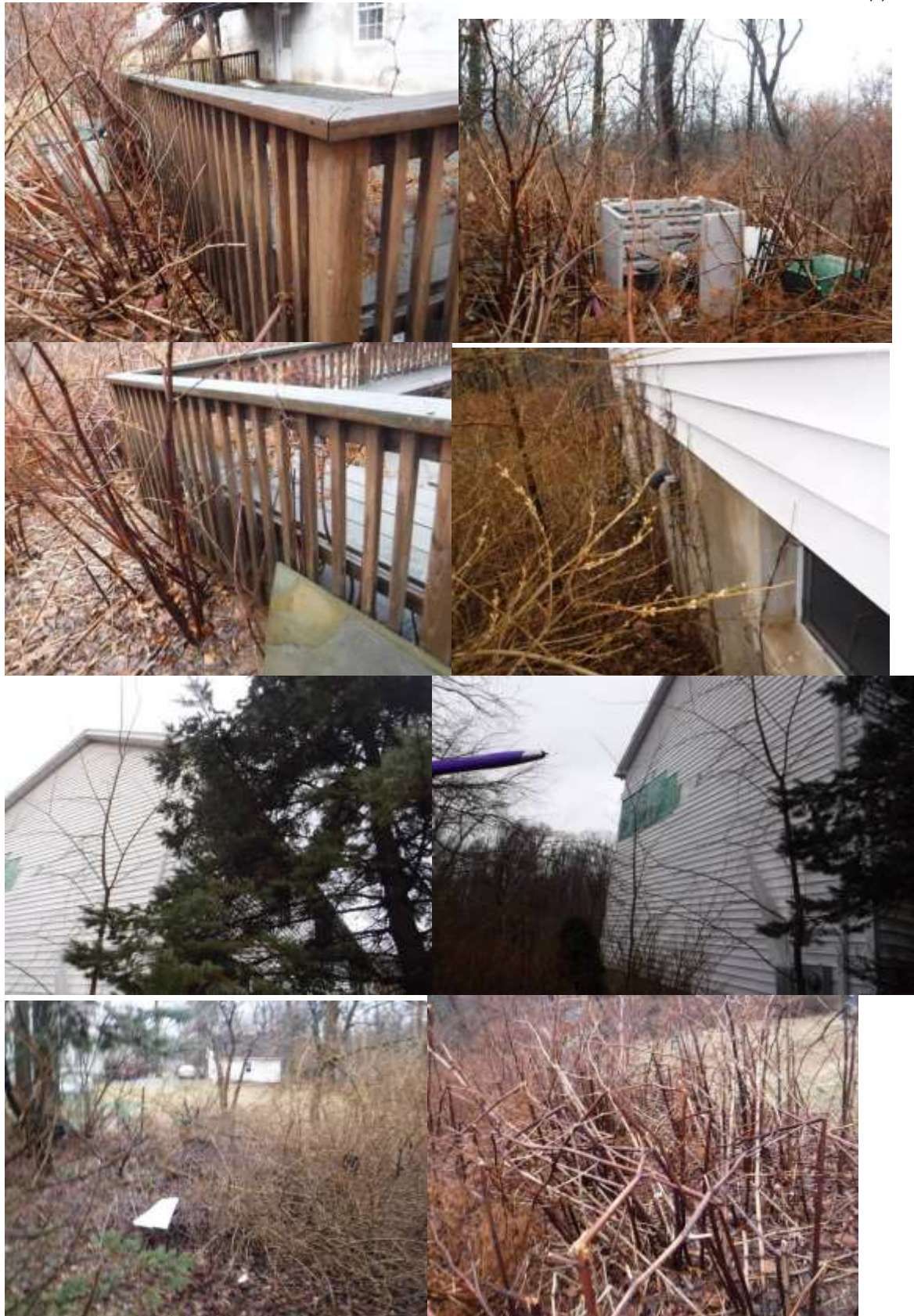


Figure 5 Examples of overhanging trees, shrubs & tree too close, overgrowth, weeds, high grass, trash/items in yard, etc.

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**ROOF**

**ROOF VISIBILITY**  All  Partial  None  Limited by: Angle

**INSPECTED FROM**  Roof  Ladder at eaves  Ground (*Inspection Limited*)  With Binoculars

**STYLE OF ROOF**

**Type:**  Gable  Hip  Mansard  Shed  Flat  Other  
**Pitch:**  Low  Medium  Steep  Flat

**ROOF COVERING**

**Roof #1:** Type: **Asphalt shingle (tab )** Estimated Layers\*: **1\*** Approximate age of cover: **past life/leaking**  
 Layers- only the visible layers; drip edges can conceal additional layers.\*

**NOTE:** It is always recommended to obtain roofing information on brand and warranty due to current concerns with some GAF and other manufacturer's architectural roof shingles involved in a class action suit to err on side of caution. Often it cannot be determined by visual inspection. Age of roof is only an approximation. Installer's paperwork is only proof of age.

**VENTILATION SYSTEM** **Type:**  Soffit- blocked in attic  Ridge  Gable  Roof

**Appears Adequate:**  Yes  No  Turbine  Powered  Other  **More ventilation recommended**  
 (*See Interior remarks page*) (*See Attic section*)

Need more Ventilation to avoid mold-like substances, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage and shortening life of roof.

**FLASHING** **Material:**  Galv/Alum  Asphalt  Not visible  Rubber

**VALLEYS**  Not visible  N/A **Material:**  Galv/Alum  Asphalt  Lead  Copper

**CONDITION OF ROOF COVERINGS** **Roof #1:**  Poor  Leaking

**Condition:**  Curling  Cracking  Leaking (Active)  Nail popping  
 (poor)  Granules missing  Moss buildup/staining/streaks  Cupping  Widening keyways  
 Multi layer roof- not recommended  Need more Ventilation- **67F** in attic and 50F in the home & outside

**READ THIS NOTE:**  Keep all roofs in **LEAK –FREE condition**. If not in leak-free condition, water can and will leak into a home, causing damage, and mold like conditions. Anything checked off above in conditions section must be addressed/corrected/evaluated and repaired/replaced by a qualified roof prior to closing and contractual limitations. Plan for repairs and roof replacement. Obtain closed roof permits from township/Boro/City and plan and budget for roof repairs & replacement. Ask if roof is under a transferrable warranty. Water damage and mold can be concealed behind walls, ceilings or any other covering that cannot be seen during a Visual Home Inspection. Refer to the NJ Standards of Practice sent with your Pre-Inspection contract. If you have any concerns, you must engage in a contract with a licensed contractor to open up walls, ceilings, flooring or other cladding or covering by arranging it with the sellers before closing to rule out hidden problems, mold or other water related issues. There are costs associated with this type of invasive investigation. This will involve destructive means that is beyond the scope of a general visual non-invasive home inspection under New Jersey law. See siding section for similar comments about hidden damage.

**MULTI-LAYER ROOFS:** Multi- layers will shorten life of existing roof. There are many disadvantages of having multi-layer roofs even though it may be acceptable in many municipalities across New Jersey. Multi layers wear faster or shorten the current roof layer because of the uneven surface that it was laid over. These roofs are heavier and increase the dead load thereby placing the roof structure under greater load often causing deflection. Deflection was observed from street or distance looking at roof. Multi layers (ML) are more inclined to have shingles blow off especially if nails cannot penetrate the roof decking. The key factor or weakness in ML layer roofs are the fact that flashings are not replaced without stripping off roof. This makes the roof vulnerable in areas where old flashings remain and often tarred over. The sun's UV rays cracks tar year to year and water leaks in these areas. ML roofs tend not to dry out sufficiently and thus accelerating the ageing or deterioration of the newest layer. Flashings are the most important detail of a well installed roof to help protect the junctures and penetrations from water entry. A ML roof lacks new flashings since it was not striped off for their installations. ML roofs will make attic hotter, trap moisture and cause sheathing damage, rot and mold due to trapped heat and moisture. Roofs should have more or maximum ventilation. Have roof, ventilation and gutters evaluated by qualified roofer before closing.

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SKYLIGHTS  N/A  Cracked/Broken  Not visible  Cloudy or overcast; limited visibility  
PLUMBING VENTS  Yes  No  Satisfactory  Marginal  Poor

- Recommend roofer evaluate and advise on costs of roof tear off, ventilation, gutters
- Maintain roofs in leak free, debris free condition as well as gutters year round to avoid internal or concealed leaking into the home and potential water/mold like substances/wood destroying insects

*Conditions reported above reflect visible portion only*

**GENERAL COMMENTS**

**ROOF:** The roof was past its life; active leaking, cupping, curling, cracks, nail pops, moss, widening keyways, active leaks & water stains. The gutters were hanging/disconnected in front, missing parts, spillage/leaking and ruts in soil below gutters. The home and exterior temperature was 50F and the attic was almost 20F hotter ( 67F); poor ventilation. Recommend a roofer evaluate for tear off, new roof, gutters and ventilation.

**CONCERNS:**

1. Recommend a roofer evaluate for tear off, new roof, gutters and ventilation.

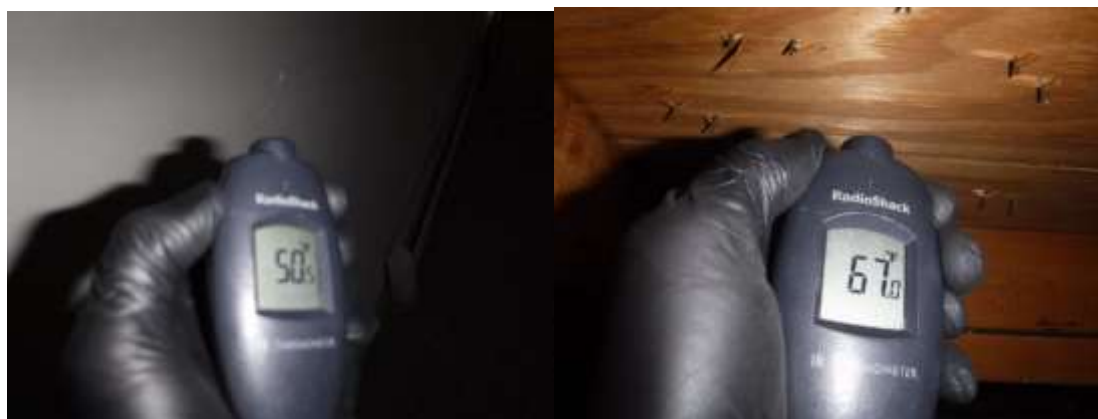


Figure 6 Almost 20F hotter in attic and 50F in house and outside; poor ventilation.

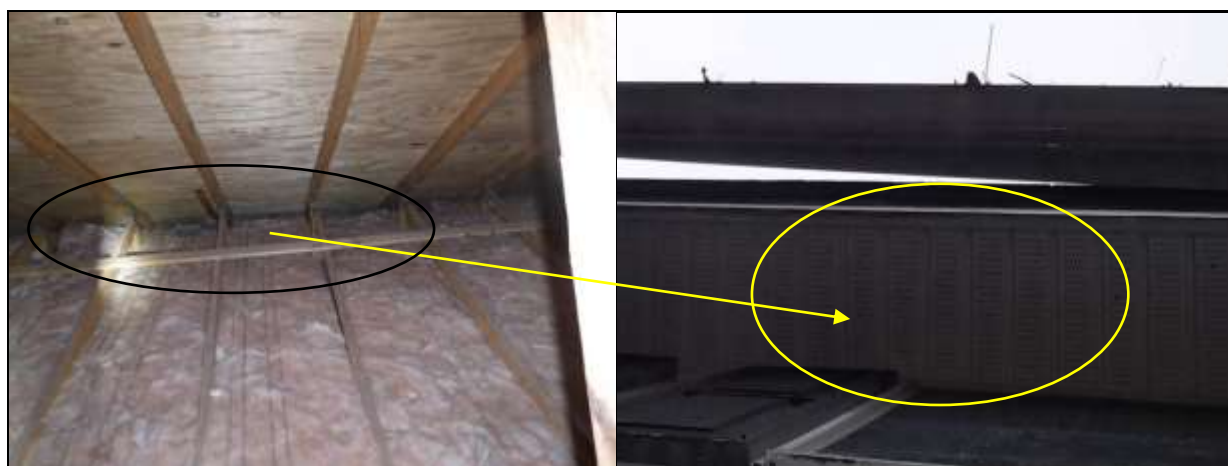


Figure 7 Insulation blocking perforated soffits; no air flow. Hot humid attic shortens life of roof and promotes mold like growth and potentially damage roof structure.



Figure 8 Examples of water stains/leaks in attic. See other sections comments; active leaks in home.

**CHIMNEY/GUTTERS/SIDING/TRIM**CHIMNEY(S)  None Location(s): **N/A**GUTTERS/SCUPPERS/EAVES TROUGH  Dirty, clogged or poorly maintained gutters will cause leaks into interior or behind walls. Clean often and checked frequently. Needs to be cleaned yearly or more often  Downspouts missing An ice dam is a ridge of ice that forms at the edge of a roof and prevents melting snow (water) from draining off the roof. The water that backs up behind the dam can leak into a home and cause damage to walls, ceilings, insulation, and other areas.Material:  Copper  Vinyl/Plastic  Galvanized/Aluminum  OtherCondition:  Satisfactory  Marginal  Poor  RustingLeaking/Spillage :  Corners  Joints  Main Runs  Missing parts, hanging, bent/sagging-poor, LeakingAttachment:  Loose  Missing spikes  Improperly sloped (See remarks page)Extension needed:  Clean underground drains**SIDING**

(\*See remarks page EIFS)

Material:  Vinyl  Staining, moss, holes, cracks, buckled, gaps, separation, missing/blown off, water intrusion, damaged house wrap Loose/Missing/Holes**Note- Concealed behind Siding :**  Siding cannot be removed during a home inspection; invasive. There is always a chance of concealed water and/or wood destroying insect damage behind gutters, siding, trim, rake boards and fascia. This cannot be determined during a visual non-invasive home inspection. Mold can also be concealed and not visible.Condition:  Satisfactory  Marginal  Poor  Recommend repairs including concealed damage**TRIM, SOFFIT, FASCIA, FLASHING**Material:  Vinyl/metal Recommend repair damaged siding/trim  Extent of damage *must be determined* **Note:** Often concealed water damage or rot can be concealed behind gutters on fascia or soffits. Monitor areas and address repairs as needed. Dirty gutters will spill over and cause damage often concealed, on fascia, trim, siding or interior; clean regularly.Condition:  Satisfactory  Marginal  Poor  Recommend repairs including concealed damage**CAULKING**Condition:  Satisfactory  Marginal  Poor Recommend around windows/doors/masonry ledges/corners/utility penetrations as needed**WINDOWS & SCREENS** Failed/fogged insulated glassMaterial:  Wood  Metal  Vinyl  Aluminum/Vinyl CladScreens:  Torn  Bent  Not installed  Glazing/caulk neededCondition:  Satisfactory  Marginal  Poor  Recommend window & door replacementsSTORMS WINDOWS  N/A  Not installed  Wood  Clad comb.  Wood/metal comb.SLAB-ON-GRADE/FOUNDATION  N/A (See Basement/Crawl Space)**GENERAL COMMENTS**

**CHIMNEY/GUTTERS/SIDING/TRIM:** Recommend replacing gutters, rain leaders, soffits, fascia with the roof; poor condition. Gutters and rain leaders or downspouts are important for rainwater collections and distribution away from structure. Vegetation, grading surface drainage, rotted tree stumps among other forms of plant material is likely to adversely affect the home or dwelling adversely. Grounds are viewed during a home inspection from the perspective of how they may affect the home negatively. Homes can typically experience wet basements, crawl spaces and attract wood destroying insect infestation as a result of negative grading, landscaping and soil too close to home and poor maintenance. The home has been neglected and systems and components were in poor condition and no longer protecting the house from water entry. The siding was in poor condition and sections blown off on the left of house along with torn house wrap. There was green staining/moss, dirt, artillery spores (black specks), buckled siding by the water damaged front door assembly, cracks, holes, loose siding, damaged soffits & fascia, gaps/open junctures, dried/cracked caulk, bent or missing flashings, etc. The siding and exterior components all work together to maintain a protective envelop to keep out water, wind, and weather elements.

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Exterior components include roof, gutters, windows, doors, siding, trim, flashings, etc. There were active leaks in the home from several sources on exterior as well as the plumbing & heating in the interior. There were several foundation cracks (vertical, step) visible on exterior and some in the basement ; very limited view due to finished basement. Recommend a building contractor evaluate exterior systems & components (roof/gutters, siding/trim, doors, windows, steps, etc.) and foundation cracks and advise on all repairs to restore the protective exterior envelop and repair foundation cracks. See structural comments pg.2.

**CONCERNS:**

1. The home has been neglected and systems and components were in poor condition and no longer protecting the house from water entry. The siding was in poor condition and sections blown off on the left of house along with torn house wrap. There was green staining/moss, dirt, artillery spores (black specks), buckled siding by the water damaged front door assembly, cracks, holes, loose siding, damaged soffits & fascia, gaps/open junctures, dried/cracked caulk, bent or missing flashings, etc. The siding and exterior components all work together to maintain a protective envelop to keep out water, wind, and weather elements. Exterior components include roof, gutters, windows, doors, siding, trim, flashings, etc. There were active leaks in the home from several sources on exterior as well as the plumbing & heating in the interior. There were several foundation cracks (vertical, step) visible on exterior and some in the basement ; very limited view due to finished basement. Recommend a building contractor evaluate exterior systems & components (roof/gutters, siding/trim, doors, windows, steps, etc.) and foundation cracks and advise on all repairs to restore the protective exterior envelop and repair foundation cracks.





Figure 9 Buckled siding around the damaged front door assembly.









## EXTERIOR/ELECTRICAL/AC/HEAT PUMP/GARAGE

### SERVICE ENTRY

- Underground- left side of house     broken clamps     *Weather head/mast needs repair*  
 Condition:     Sat.     Marginal     Poor  
**Exterior outlets:**     Yes     No    **Operative:**     Yes     No     *Overhead wires too low*  
**GFCI present:**     Yes- deck     No- all others    **Operative:**     Yes     No  
 *Broken/hanging exterior light fixtures*  
 Reverse polarity     Open ground     Safety Hazard

### BUILDING(S) EXTERIOR WALL CONSTRUCTION

- Type:**     Not visible, inside walls     Framed     Masonry     Other  
**Condition:**     Satisfactory, overall exterior     Marginal     Poor     Not visible inside walls

### EXTERIOR DOORS

- |   |                                   |  |   |
|---|-----------------------------------|--|---|
|   | <i>Patio</i>                      | <i>Storm</i>                             | <i>Entrance</i>   |
| <b>Weather-stripping:</b> <input type="checkbox"/> Satisfactory | <input type="checkbox"/> Marginal | <input checked="" type="checkbox"/> Poor | <input type="checkbox"/> Missing <input type="checkbox"/> Replace |
| <b>Door Condition:</b> <input type="checkbox"/> Satisfactory    | <input type="checkbox"/> Marginal | <input checked="" type="checkbox"/> Poor |   |

### EXTERIOR A/C - HEAT PUMP

**Location(s):**    **N/A**

- Unit #1 Brand: ---    Outside shutoff:     Yes     No  
 Condition:     Satisfactory     Marginal     Poor     Rusted    Level:     Yes     No  
 Cabinet/housing rusted    Condenser Fins:     Damaged     Need cleaning     Damaged base/pad

### GARAGE

- None     Attached     Detached     1-car     2-car     3-car     4-car  
 Automatic Opener:     Yes     No     Operable     Inoperable     Remote not available  
 Safety Reverse Operable:     Pressure reverse     Electric eye     **Doors damaged & Auto openers not plugged in/broken**  
 Roofing Material:     Same as house  
 Gutters :     Same as house    Siding:     Same as house    Trim:     Same as house  
 Floor : Material:     Concrete     Cracks, staining  
 Condition:     Satisfactory     Typical cracks     *Large settling cracks*     *Recommend evaluation/repair*  
 Burners less than 18" above garage floor:     N/A     Yes     No     Safety hazard  
 Sill Plates :     Not visible     Floor level     Elevated     *Rotted/Damaged*     *Recommend repair*  
 Overhead doors:     N/A     Wood     Fiberglass     Masonite     Metal     *Recommend repair*  
 daylight/not plumb, damaged rubber seals     Bent/car damaged door panels     Poor  
 **Overhead door hardware/cross bars not aligned with holes**  
 Recommend Painting Inside & Edges:     Yes     No     Recommend lubrication     Weather-stripping missing/damaged  
 Exterior Service Door:     None     Satisfactory     Marginal     Poor     **Damaged locks/handle**  
 Electricity Present:     Yes     No     Not visible    GFCI Present:     Yes     No    **Operates:**     Yes     No  
**Reverse polarity:**     Yes     No    Open ground:     Yes     No     *Safety hazard*  
 *Handyman/extension cord wiring*  
 Firewall (*Between garage & living area*) :     N/A     Present     **Missing- side walls and ceiling**  
 Satisfactory     *Safety hazard(s)*     *Recommend repair*     *Holes walls/ceiling*  
**Fire door:**     Not verifiable     *Not a fire door*     *Needs repair*     Satisfactory  
**Moisture Stains Present:**     Yes     No    Typical Cracks:     Yes     No

### GENERAL COMMENTS

**EXTERIOR/ELECTRICAL/A/C/HEAT PUMP/GARAGE :** There were active leaks in garage on ceiling/walls; see roofing section comments. The front door assembly was protruding out, not plumb, water damage, buckled siding around door, etc. See "Grounds" section comments; have building contractor evaluate extent of damage and make repairs and determine extent of concealed damage. The man door in garage to rear yard had broken lock & handle; have replaced. The overhead doors did not align with the cross bar locks, car damaged door panels, canted or not plumb and daylight around doors and bottoms. The garage door openers were unplugged/not working. Recommend a garage door contractor evaluate overhead doors for replacement including the automatic garage openers. There were mice droppings in the garage; have all gaps, holes and daylight sealed/repairs to keep out rodents. The radon fan was leaking water, making loud noises, mold like staining on piping and fan. There was mold like staining on rafters or garage framing. Recommend a mold contractor evaluate/test and advise on mold like and environmental inspection and testing. Mold and environmental

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testing/inspection/etc. is not part of a home inspection. There were wet floor by the garage doors and man door, efflorescence and water stains on foundation. See seepage and grading & drainage comments. Recommend a radon mitigation contractor evaluate the radon fan & system/piping/etc. for repairs/replacement.; noisy and leaking. There was carpenter ant frass in garage on sills and studs. The windows, man door and overhead doors were in poor condition. Recommend a window & door and garage door contractors evaluate all windows and doors for replacement; poor condition. The lally column was weeping or heavy condensate on it; have evaluated by structural carpenter. These columns should not be sweating to avoid corrosion and rusting that can diminish or compromise the structural integrity. There were active roof leaks in the garage and home. See roofing section comments. Recommend drywall in garage for firewall protection and a fire door with self-closure hinges for fire safety. There were mice droppings in garage and in the home; have all gaps, daylight, openings and crevices sealed to maintain seals for water, insects and rodents.

#### **CONCERNS:**

1. **The man door in garage to rear yard had broken lock & handle; have replaced. The overhead doors did not align with the cross bar locks, damaged door panels, canted or not plumb and daylight around doors and bottoms. Recommend a garage door contractor evaluate overhead doors for replacement including the automatic garage openers (unplugged/not working).**
2. **The radon fan was leaking water, making loud noises, mold like staining on piping and fan. There was mold like staining on rafters or garage framing. Recommend a mold contractor evaluate/test and advise on mold like and environmental inspection and testing. Mold and environmental testing/inspection/etc. is not part of a home inspection.**
3. **The lally columns were weeping or heavy condensate on it; have evaluated by structural carpenter. These columns should not be sweating to avoid corrosion and rusting that can diminish or compromise the structural integrity. There were active roof leaks in the garage and home. See roofing section comments.**
4. **Recommend drywall in garage for firewall protection and a fire door with self-closure hinges for fire safety.**
5. **There were wet floor by the garage doors and man door, efflorescence and water stains on foundation. See seepage and grading & drainage comments.**
6. **There were active leaks in garage on ceiling/walls; see roofing section comments.**
7. **There were mice droppings in garage and in the home; have all gaps, daylight, openings and crevices sealed to maintain seals for water, insects and rodents.**





**Figure 10** Example of dark/black staining on rafters or roof lumber and radon system and water stains around the radon system on 2x4s; mold like. Recommend a mold/environmental contractor evaluate and advise on mold testing.



Figure 11 The lally column was covered in condensation/weeping; have evaluated. Condensation or wicking inside lally columns can deteriorate these structural supports.



Figure 12 Example of efflorescence, water stains, seepage. The driveway drains toward the garage and grading & drainage needs to be corrected; negative grading. There were mice droppings in garage and in the home; have all gaps, daylight, openings and crevices sealed to maintain seals for water, insects and rodents.



Figure 13 Example of active roof leaks; see roofing section comments.



**Figure 14 Damaged door panels; have evaluated for replacements. The doors were misaligned, not locking, daylight around doors, damaged locks, door openers unplugged/not working, not plumb, etc.**

## KITCHEN

### COUNTERTOPS

Satisfactory     Marginal     Recommend repair/caulking

### CABINETS

Satisfactory     Marginal     Recommend repair/adjustment

**Note:** Counter tops, cabinets or other storage built in products vary in quality, construction, manufacturer and brand. Low quality materials such as press board or particle board type products will sag, bow, glue separation, split have separations between units, counter tops and back splashes. This is especially true when items such as microwave, heavy cookware and other counter top appliances are placed on the shelves and counter tops. They will stress the material, often fall apart and become unglued. It is not the inspector's responsibility to judge them, inspect quality or predict their life or resulting product breakdown. This material and similar composite materials is lower quality and will have problems or negative issues. They often result in loose hardware, splits and cracks due to the low product quality. If the material becomes moist or wet it will swell, split, break down and fail. *If you have concerns about your quality of fixtures, brands, manufacturer, appliances, cabinets, counter tops, and other installed products, address them before closing with the selling party. Check all paperwork, manuals and other product literature for specifications, design, construction and warranty.*

### PLUMBING COMMENTS

Faucet Leaks:     Yes     No    Pipes leak/corroded:     Yes     No  
 Sink/Faucet:     poor     Corroded     Chipped     Cracked     Recommend repair  
 Functional Drainage:     Adequate     Poor    Functional Flow:     Adequate     Poor  
 Hot water:     Yes     No    Cold water:     Yes     No

### WALLS & CEILING

Condition:     Satisfactory     Marginal     Poor     Typical cracks     Moisture stains

### HEATING / COOLING SOURCE

Yes     No

### FLOOR

Condition:     Satisfactory     Marginal     Poor     Sloping     Squeaks

### APPLIANCES \*

*(See remarks page) Appliances are NOT GUARANTEED & only tested as found condition at time of inspection (Snap Shot); obtain a Home Warranty from Realtors office or private source to cover appliances. Always check under refrigerators and dishwashers, etc. for leaks, damage & mold before closing by licensed plumber & building contractor. Mold/environmental inspections are beyond the scope of a home inspection. Contents of home not manipulated and moved in a visual home inspection.*

Disposal Operates:     Yes     No water in home     Oven/Range\* Operates:     Yes     No  
 Dishwasher Operates:     Yes     No water in home  
 Dishwasher Air gap:     Yes     No     N/A    Dishwasher Drain Line Looped:     Yes     No     Not visible  
 Outlets Present:     Yes     No    Operable:     Yes     No  
 G.F.C.I.:     Yes     No    Operable:     Yes     No  
 Open ground/Reverse polarity within 6' of water:     No

Potential safety hazard(s)- unsafe wiring under sink for disposal

**NOTE:** The Consumer Product Safety Commission, using estimates from 2006 through 2008, says that major appliances caused more than 150,000 residential fires each year, resulting in 3,670 injuries, 150 deaths, and \$547 million dollars in property damage. Go to (<http://www.consumerreports.org>) to see recent recalls.

#### \* Pursuant to 13:40-15.16 Standards of practice

1) When inspecting the interior of a residential building, a home inspector shall:

1. Inspect:

v. Household appliances limited to:

- (1) The kitchen range and oven to determine operation of burners or heating elements excluding microwave ovens and the operation of self-cleaning cycles and appliance timers and thermostats;
- (2) Dishwasher to determine water supply and drainage; and
- (3) Garbage disposer

**GENERAL COMMENTS**

**KITCHEN :** Recommend anti tip brackets on all stoves for safety.\* The wiring under sink was unsafe/handyman/dangerous. The outlets on counter top did not trip when GFCI outlet tested; unsafe. There were wires hanging out of ceiling; unsafe/handyman/improper. Have a licensed electrician evaluate/repair/correct for safety. The window over sink had cracked/broken glass; cut hazard. The slider door had vapor seal breaks. Recommend a window & door installer evaluate home and advise on window & door replacement. See window section comments. The appliances are very old; recommend replacing all. There was no water, no heat in home and plumbing and heating baseboards had ruptures from frozen piping and water visible inside piping where burst open. See plumbing & heating section comments.

**CONCERNS:**

1. The wiring under sink was unsafe/handyman/dangerous. The outlets on counter top did not trip when GFCI outlet tested; unsafe. There were wires hanging out of ceiling; unsafe. Have a licensed electrician evaluate/repair/correct for safety.
2. There was no water, no heat in home and plumbing and heating baseboards had ruptures from frozen piping and water visible inside piping where burst open. See plumbing & heating section comments.



**Figure 15** Windows and doors throughout the home were in poor condition. There was broken glass on window(s) and vapor seal breaks; have replaced throughout the home.

## LAUNDRY ROOM

### ROOM COMPONENTS

**Laundry sink:**  N/A      **Faucet leaks:**  Yes  No      **Pipes leak:**  Yes  No  
**Hot water:**  Yes  No      **Cold water:**  Yes  No  
**Cross connections:**  Yes  No      **Heat source present:**  Yes  No      **Room vented:**  Yes  No  
**Dryer vented:**  N/A  Wall  Ceiling  Floor  Not vented  
 Not vented to Exterior       Recommend repair       Safety hazard  
**Electrical:** Open ground/reverse polarity within 6' of water:  Yes  No       Safety hazard  
**G.F.C.I. present:**  Yes  No      **Operates:**  Yes  No  
**Appliances:**  Washer  no appliances and no gas or electric hook up for dryer  
 Dryer  Water heater  Furnace  Cluttered

Always check under washer & dryer for water damage and mold before closing; contents not manipulated or moved in a visual inspection.

**Note: Testing/inspecting washer and dryer is not part of New Jersey home inspection.**

**Washer hook-up lines/valves:**  Leaking  Corroded  Not visible  
**Gas Shut-off Valve:**  N/A  Yes  No  Cap Needed  Safety hazard  Not visible  
**Electrical Set-up :**  N/A  Yes  No

### GENERAL COMMENTS

**LAUNDRY (no hookups for dryer & vent) :** There was a hole on floor and a tin plate over it; safety hazard. There was no gas or electric hook up for dryer or washer appliances and no vent for dryer. There was a closet off the laundry room that was a bathroom and fixtures were removed and no longer a bathroom. Follow up with township to see if a legal bathroom or rough out. There were several light bulbs or fixtures in home not working.

## REMOVED TOILET ROOM

### LOCATION: ACROSS FROM LAUNRY AREA

**Walls & Ceiling:**  Satisfactory  Marginal  Poor  
**Moisture stains:**  Yes  No      Where:  
**Floor:**  CLOSED WATER CLOSET FOR A REMOVED TOILET  
 Marginal  Poor  Squeaks  Slopes  
**Typical cracks:**  Yes  No  
**Ceiling Fan:**  N/A  Satisfactory  Marginal  Poor  
**Electrical:** **Switches:**  Yes  No      **Outlets:**  Yes  No      **Operates:**  Yes  No  
**Open ground/Reverse polarity:**  Yes  No       Cover plates missing  Safety Hazard  
**Heating/Cooling Source:**  Yes  No      **Holes:**  Doors  Walls  Ceilings  
**Bedroom Egress Restricted:**  N/A  Yes  No  
**Doors & Windows:** Operational:  Yes  No      Broken Vapor Seals :  Yes  No  N/A  
 Locks/Latches Operable:  Yes  No  Missing  Cracked Glass

### GENERAL COMMENTS

**REMOVED TOILET ROOM :** This room had a closed off water closet on floor where a toilet was removed. This room may have been a pantry or closet or a 1/2 bathroom. A bathroom fan was in the room.

## BATHROOMS

### BATH: 1/2 BATH SINKS / TUBS / SHOWERS

**Faucet leaks:**  Yes  No    
 **Loose:**  Yes  No    
 **Pipes leak:**  Yes  No  
**Fixture(s) Condition:**  Satisfactory  Marginal    
  Poor  
**Hot water:**  Yes  No    
 **Cold water:**  Yes  No

### TOILET

**Bowl Loose:**  Yes  No    
 **Operates:**  Yes  No    
 Toilet leaks    
 Cracked bowl/tank    
 Cross connection

### WALLS / CEILING / CABINETS

**Moisture stains present:**  Yes- ceiling, baseboard leaks    
**Outlets present:**  Yes  No  
**G.F.C.I. Present:**  Yes  No    
**Operates:**  Yes  No  
**Open ground/Reverse polarity within 6' of water:**  Yes  No    
**Potential safety hazards present:**  Yes  No

### HEATING / COOLING SOURCE

Yes  No  
**Window/Door:**  Yes  No    
 Satisfactory    
 Marginal    
 no window- interior room  
**Exhaust Fan:**  Yes  No    
**Operates:**  Yes  No    
**Noisy:**  Yes  No

### GENERAL COMMENTS

**1/2 BATH OFF KITCHEN:** There was no water or heat in the home at time of inspection. Follow up with the HVAC contractor and licensed plumber to test plumbing, appliances, fixtures and heating before closing & contractual limitations. The baseboard heating pipes were leaking black water and rupture on the elbow or copper piping; see heating section comments. Follow up with a mold/environmental contractor for mold testing to rule out mold; beyond the scope of a home inspection.

### CONCERNS:

- The baseboard heating pipes were leaking black water and rupture on the elbow or copper piping; see heating section comments. Follow up with a mold/environmental contractor for mold testing to rule out mold; beyond the scope of a home inspection.



**BATH: MASTER BATH**

**SINKS / TUBS / SHOWERS**

Faucet leaks:  Yes  No Loose:  Yes  No Pipes leak:  Yes  No  
 Fixture(s) Condition:  Satisfactory  Marginal  Poor  
 Hot water:  Yes  No Cold water:  Yes  No

**TOILET**

Bowl Loose:  Yes  No Operates:  Yes  No  Toilet leaks  Cracked bowl/tank  Cross connection

**SHOWER / TUB AREA / SINK(S)**

Material:  Ceramic/Plastic  Fiberglass  Masonite  Other  
 Condition:  Satisfactory  Marginal  Poor  Rotted floors  
 Caulk/Grouting Needed:  Yes  No Where: recommend upgrading bathrooms and kitchen in the home as well as plumbing, heating etc.- poorly maintained  
 Functional Drainage:  Adequate  Poor Functional Flow:  Adequate  Poor  
 Whirlpool Operable:  N/A  Yes  No Access panel to pump/motor:  Yes  No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

**WALLS / CEILING / CABINETS**

Moisture stains present:  Yes  No Outlets present:  Yes  No  
 G.F.C.I. Present:  Yes  No Operates:  Yes  No  
 Open ground/Reverse polarity within 6' of water:  Yes  No Potential safety hazards present:  Yes  No

**HEATING / COOLING SOURCE**

Yes  No  
 Window/Door:  Yes  No  Satisfactory  Marginal  Poor  
 Exhaust Fan:  Yes  No Operates:  Yes  No Noisy:  Yes  No

**GENERAL COMMENTS**

**MASTER BATH:** There was water on floor around the toilet and near the shower stall; further evaluate. The spigot on soak tub was found lying on tub edge and no access panel for tub. There was no water and heat in the home at time of inspection. The bathroom fan was not running and making noise when tested; have replaced. The bathrooms and kitchen in home need upgrades and throughout the home; poorly maintained. See main concerns pg. 2. There were stains on & cracks on ceiling and active leaks; have roofer and building contractor evaluate all water sources and make repairs/system and upgrades in the home. There were vapor seal breaks on windows in this room and throughout the home; poor condition.

**CONCERNS:**

1. There was freeze damage and leaking in the home; see plumbing and heating section comments. The tub spigot was lying in tub and no access panel for plumbing on tub.
2. There was active leaks/moisture in this bathroom; have building contractor and roofer evaluate all water sources and advise on repairs.
3. There were vapor seal breaks on windows in this room and throughout the home; poor condition



Figure 16 Example of vapor seal breaks have window in home evaluated for replacement.





**Figure 17** Water puddle on floor around the toilet; leaking plumbing and heating baseboards in the home; freeze damage/improperly winterized and the meter was found removed and plugged on street side in basement.



**Figure 18** Active leaking in the home; roof, plumbing and heating water sources. The home was poorly maintained and not properly winterized.

**MAIN BATH: 2<sup>ND</sup> FL  
CENTER FRONT**

**SINKS / TUBS / SHOWERS**

**Faucet leaks:**  Yes  No    **Loose:**  Yes  No    **Pipes leak:**  Yes  No  
**Fixture(s) Condition:**  Satisfactory  Marginal  Poor  
**Hot water:**  Yes  No    **Cold water:**  Yes  No

**TOILET**

**Bowl Loose:**  Yes  No    **Operates:**  Yes  No  Toilet leaks  Cracked bowl/tank  Cross connection

**SHOWER / TUB AREA / SINK(S)**

**Material:**  Ceramic/Plastic  Fiberglass  Masonite  Other  
**Condition:**  Satisfactory  Marginal  Poor  Rotted floors  
**Caulk/Grouting Needed:**  Yes  No    **Where:**  
**Functional Drainage:**  Adequate  Poor    **Functional Flow:**  Adequate  Poor  
**Whirlpool Operable:**  N/A  Yes  No    **Access panel to pump/motor:**  Yes  No

**Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.**

**WALLS / CEILING / CABINETS**

**Moisture stains present:**  Yes  No    **Outlets present:**  Yes  No  
**G.F.C.I. present:**  Yes  No    **Operates:**  Yes  No  
**Open ground/Reverse polarity within 6' of water:**  Yes  No    **Potential safety hazards present:**  Yes  No

**HEAT / COOLING SOURCE**  Yes  No

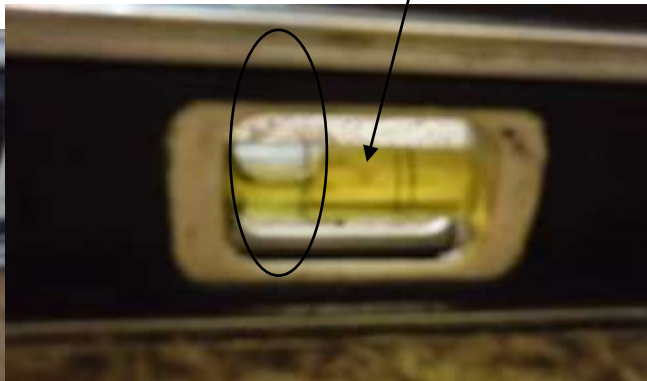
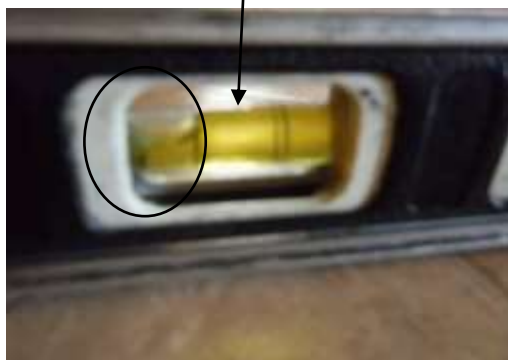
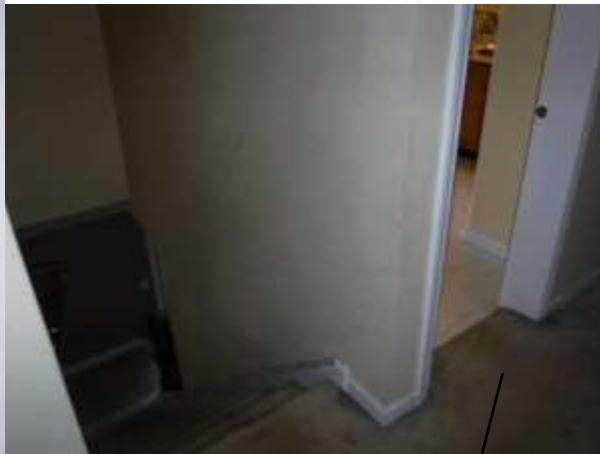
**Window/Door:**  Yes  No  poor  
**Exhaust Fan:**  Yes  No    **Operates:**  Yes  No    **Noisy:**  Yes  No

**GENERAL COMMENTS**

**MAIN BATH :** There was active leaking in the hallway ceiling below this bathroom; have plumber evaluate and determine all leaks/water sources and make repairs. The lights in this bathroom go off when the GFCI outlet tested/tripped. Recommend a licensed electrician evaluate for separation. There was uneven flooring, bounce/deflection when walked across flooring; have a building contractor evaluate and advise on causes/repairs.

**CONCERNS:**

1. There was sloped, squeaking, bounce flooring in the home and very noticeable on second floor center hall and this bathroom. Recommend a building contractor and/or structural engineer (PE) further evaluate structure in home including foundation cracks and advise on structure, repairs or rule out hidden damage.



**BATH: BASEMENT**

**SINKS / TUBS / SHOWERS**

Faucet leaks:  Yes  No    Loose:  Yes  No    Pipes leak:  Yes  No  
 Fixture(s) Condition:  Satisfactory  Marginal  Poor  
 Hot water:  Yes  No    Cold water:  Yes  No

**TOILET**

Bowl Loose:  Yes  No    Operates:  Yes  No  Toilet leaks  Cracked bowl/tank  Cross connection

**SHOWER / TUB AREA / SINK(S)**

Material:  Ceramic/Plastic  Fiberglass  Masonite  Other  
 Condition:  Satisfactory  Marginal  Poor  Rotted floors  
 Caulk/Grouting Needed:  Yes  No    Where:  Adequate  Poor  
 Functional Drainage:  Adequate  Poor    Functional Flow:  Adequate  Poor  
 Whirlpool Operable:  N/A  Yes  No    Access panel to pump/motor:  Yes  No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

**WALLS / CEILING / CABINETS**

Moisture stains present:  Yes  No    Outlets present:  Yes  No  
 G.F.C.I. present:  Yes  No    Operates:  Yes  No  
 Open ground/Reverse polarity within 6' of water:  Yes  No    Potential safety hazards present:  Yes  No

**HEAT / COOLING SOURCE**

Yes  No  
 Window/Door:  Yes  No  Satisfactory  Marginal  Poor  
 Exhaust Fan:  Yes  No    Operates:  Yes  No    Noisy:  Yes  No

**GENERAL COMMENTS**

**BASEMENT BATH :** Baseboard leaking and piping ruptured /burst and filled with water. Home was not properly winterized; freeze damage to baseboards/distribution piping and plumbing in the home. There were other baseboards in the home that was damaged and leaking. The exhaust fan was not working properly; banging/noisy.

**CONCERNS:**

1. There were ruptured baseboards and water inside them throughout the home. See heating section comments.



**Figure 19** View of ruptured baseboard in bathroom. There were many throughout the home. The home was not winterized properly. See heating & plumbing section comments.



## DINING ROOM

### LOCATION: REAR LEFT OFF KITCHEN

<b>Walls &amp; Ceiling:</b>	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
	<b>Moisture stains:</b>	<input checked="" type="checkbox"/> Yes	<b>Where: rear wall around windows and crack</b>
<b>Floor:</b>	<input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor <input checked="" type="checkbox"/> Squeaks <input checked="" type="checkbox"/> Slopes
	<b>Typical cracks:</b>	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
<b>Ceiling Fan:</b>	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal <input type="checkbox"/> Poor
<b>Electrical:</b>	<b>Switches:</b> <input type="checkbox"/> Yes <input type="checkbox"/> No	<b>Outlets:</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<b>Operates:</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	<b>Open ground/Reverse polarity:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Cover plates missing <input type="checkbox"/> Safety Hazard
<b>Heating/Cooling Source:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<b>Holes:</b>	<input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
<b>Bedroom Egress Restricted:</b>	<input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes	<input type="checkbox"/> No	
<b>Doors &amp; Windows:</b>	Operational: <input checked="" type="checkbox"/> poor	Broken Vapor Seals :	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
	Locks/Latches Operable:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Missing <input type="checkbox"/> Cracked Glass

### GENERAL COMMENTS

**DINING ROOM (rear left):** See heating section; no heat in home and baseboards freeze damage throughout the home. There was a vertical crack on side of door frame between the living room and this dining room; canted doorway. Recommend having a building contractor evaluate and advise on structure/cracks and repairs. There was damaged wood sills (chewed and water damaged). There was a vertical crack on rear wall and active moisture/leaking on the wall by cracks. See heating & plumbing sections. All windows and doors in home were in poor condition; recommend a window & door installer evaluate home for replacements. There was sloped flooring in this room, second floor and throughout the home. See structural comments; further evaluate sloped flooring, canted doorways, foundation cracks, etc. by a building contractor and structural engineer (PE) before closing & contractual limitations.

### CONCERNS:

1. There was a vertical crack on side of door frame between the living room and this dining room; canted doorway. Recommend having a building contractor evaluate and advise on structure/cracks and repairs.
2. There was sloped flooring in this room, second floor and throughout the home. See structural comments; further evaluate sloped flooring, canted doorways, foundation cracks, etc. by a building contractor and structural engineer (PE) before closing & contractual limitations.



**Figure 20** Have a building contractor evaluate the canted doorway and vertical cracks.



**Figure 21** Leaking around the windows, cracks on drywall and active moisture. All black staining or mold like areas in the home should be evaluated by a mold or environmental contractor.



## LIVING ROOM

### LOCATION: FRONT LEFT

<b>Walls &amp; Ceiling:</b> <input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input checked="" type="checkbox"/> Poor- Drywall cracks
<b>Moisture stains:</b> <input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Yes	<b>Where:</b> ceiling by front door, baseboards
<b>Floor:</b> <input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor <input checked="" type="checkbox"/> Squeaks <input checked="" type="checkbox"/> Slopes
<b>Typical cracks:</b> <input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
<b>Ceiling Fan:</b> <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal <input type="checkbox"/> Poor
<b>Electrical:</b> <b>Switches:</b> <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<b>Outlets:</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <b>Operates:</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<b>Open ground/Reverse polarity:</b> <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> No <input type="checkbox"/> Cover plates missing <input type="checkbox"/> Safety Hazard
<b>Heating/Cooling Source:</b> <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<b>Holes:</b> <input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
<b>Bedroom Egress Restricted:</b> <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<b>Doors &amp; Windows:</b> Operational: <input checked="" type="checkbox"/> poor	Broken Vapor Seals : <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Locks/Latches Operable: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> Missing <input type="checkbox"/> Cracked Glass	

### GENERAL COMMENTS

**LIVING ROOM FRONT LEFT** : There was missing ceiling fixture; wires hanging out/unsafe. The heating baseboards in home had freeze damage and black water dripping out of them throughout the home. There were active water stains and patched ceiling near the front door in this room; leaking baseboards on second floor above this room. Have a building contractor evaluate all water leaks/sources and advise on repairs. See plumbing and heating section comments. See structural comments; sloped flooring and canted doorways in the home.

#### CONCERNS:

1. The heating baseboards in home had freeze damage and black water dripping out of them throughout the home. There were active water stains and patched ceiling near the front door in this room; leaking baseboards
2. See structural comments; sloped flooring and canted doorways in the home.



Figure 22 Example of many baseboard that had ruptured due to freeze damage; active leaking. See heating section comments.



**Figure 23 Active leaking in ceiling by living room and front entrance. There were ruptured baseboards above on second floor with water inside them.**

## FAMILY ROOM

### LOCATION: FRONT RIGHT

**Walls & Ceiling:**  Satisfactory  Marginal  Poor  
**Moisture stains:**  Yes **Where: drywall/right wall , ceiling, front wall**  
**Floor:**  Satisfactory  Marginal  Poor  Squeaks  Slopes  
**Typical cracks:**  Yes  No  
**Ceiling Fan:**  N/A  Satisfactory  Marginal  Poor  
**Electrical:** **Switches:**  Yes  No **Outlets:**  Yes  No **Operates:**  Yes  No  
**Open ground/Reverse polarity:**  Yes  No  Cover plates missing  Safety Hazard  
**Heating/Cooling Source:**  Yes  No **Holes:**  Doors  Walls  Ceilings  
**Bedroom Egress Restricted:**  N/A  Yes  No  
**Doors & Windows:** Operational:  Yes  No Broken Vapor Seals :  Yes  No  N/A  
 Locks/Latches Operable:  Yes  No  Missing  Cracked Glass

### GENERAL COMMENTS

**FAMILY ROOM (front right):** There were vertical cracks on walls and ceiling, uneven drywall on right side (facing house) & front wall and active moisture or leaking in the room. Recommend a window installer evaluate all window in home for replacement; poor condition. The front door assembly in adjacent hallway was protruding outward and poor condition. Recommend a building contractor evaluate extent of water/insect damage and advise on repairs/replacements. See siding and door section comments. The baseboard heating pipes were leaking black water and blow off the elbow . See heating section comment. There was active leaking/moisture and black mold like staining on ceiling in hallway at entrance off the family room and staircase. Recommend a building contractor evaluate all water sources and advise on repairs. See heating section comments; poor condition and many had freeze damage and leaking in the home. See structural comments; sloped flooring and canted doorways in the home.

### COINCERNS:

1. There were vertical cracks on walls and ceiling, uneven drywall on right side (facing house) & front wall and active moisture or leaking in the room. Recommend a building contractor and roofing contractor evaluate all water sources, wall & ceiling cracks and extent of damage including concealed areas and advise on repairs before closing & contractual limitations.
2. See structural comments; sloped flooring and canted doorways in the home.





## MASTER BEDROOM

**LOCATION: 2<sup>ND</sup> FL FONRT LEFT**

<b>Walls &amp; Ceiling:</b>	<input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor	
	<b>Moisture stains:</b>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Where:
<b>Floor:</b>	<input checked="" type="checkbox"/> wall to wall carpet	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor	<input checked="" type="checkbox"/> Squeaks <input checked="" type="checkbox"/> Slopes
	<b>Typical cracks:</b>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
<b>Ceiling Fan:</b>	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
<b>Electrical:</b>	<b>Switches:</b> <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<b>Outlets:</b> <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <b>Operates:</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	<b>Open ground/Reverse polarity:</b>	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Cover plates missing <input type="checkbox"/> Safety Hazard
<b>Heating/Cooling Source:</b>	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<b>Holes:</b>	<input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
<b>Bedroom Egress Restricted:</b>	<input type="checkbox"/> N/A	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
<b>Doors &amp; Windows:</b>	Operational: <input checked="" type="checkbox"/> poor	Broken Vapor Seals : <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
	Locks/Latches Operable: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Missing	<input type="checkbox"/> Cracked Glass

### GENERAL COMMENTS

**MASTER BEDROOM :** There were water stains in hallway; see roofing section comments. The carpeting in this room and some other areas were found loose or had been pulled back by someone. Carpeting is not removed in a home inspection. There were water stains under the loose carpeting and leaking baseboards and active moisture & stains below in the main hallway and living room. See heating section; freeze damage/ruptured baseboards. See window section; poor windows & doors in the home. There was sloped flooring in the home; have evaluated by a building contractor. See structural comments; sloped flooring and canted doorways in the home.

#### CONCERNS:

1. Recommend evaluating all water/moisture leaks, baseboards, etc.; see heating & plumbing sections.



## #2 BEDROOM

### LOCATION: FRONT RIGHT RED & BLUE

**Walls & Ceiling:**  Satisfactory  Marginal  Poor  
**Moisture stains:**  Yes  No Where: ceiling, closets  
**Floor:**  wall to wall carpet  Marginal  Poor  Squeaks  Slopes  
**Typical cracks:**  Yes  No  
**Ceiling Fan:**  N/A  Satisfactory  Marginal  Poor  
**Electrical:** **Switches:**  Yes  No **Outlets:**  Yes  No **Operates:**  Yes  No  
**Open ground/Reverse polarity:**  Yes  No  Cover plates missing  Safety Hazard  
**Heating/Cooling Source:**  Yes  No **Holes:**  Doors  Walls  Ceilings  
**Bedroom Egress Restricted:**  N/A  Yes  No  
**Doors & Windows:** Operational:  poor Broken Vapor Seals :  Yes  No  N/A  
Locks/Latches Operable:  Yes  No  Missing  Cracked Glass

### GENERAL COMMENTS

**#2 BEDROOM FRONT RIGHT :** There were ceiling cracks and active moisture in ceiling and closet (puckered drywall tape). See heating section comments; baseboards in the home had freeze damage and ruptures. See structural comments; sloped flooring and canted doorways in the home.

### CONCERNS:

1. There were active leaks in the room and others interior rooms, attic, etc. See roofing section comment. Recommend a building contractor, heating contractor, licensed plumber and roofer evaluate all water/leak sources and make repairs. The home was poorly maintained and systems in poor condition.



## #3 BEDROOM REAR RIGHT

### LOCATION: BLACK BOARD & TAN

**Walls & Ceiling:**  Satisfactory  Marginal  Poor  
**Moisture stains:**  Yes **Where: ceiling/stains/active 100%**  
**Floor:**  wall to wall carpet  Marginal  Poor  Squeaks  Slopes  
**Typical cracks:**  Yes  No  
**Ceiling Fan:**  N/A  Satisfactory  Marginal  Poor  
**Electrical:** **Switches:**  Yes  No **Outlets:**  Yes  No **Operates:**  Yes  No  
**Open ground/Reverse polarity:**  Yes  No  Cover plates missing  Safety Hazard  
**Heating/Cooling Source:**  Yes  No **Holes:**  Doors  Walls  Ceilings  
**Bedroom Egress Restricted:**  N/A  Yes  No  
**Doors & Windows:** Operational:  poor Broken Vapor Seals :  Yes  No  N/A  
Locks/Latches Operable:  Yes  No  Missing  Cracked Glass

### GENERAL COMMENTS

**#3 BEDROOM REAR RIGHT :** The moisture meter pinned when ceiling water stains tested; active roof leaks. See roofing section comments. There were several handyman installed junction boxes in the closed in an open access panel. Have a licensed electrician evaluate and make repairs for safety; unconventional wiring. The flooring on second floor was sloped, squeaking, bounce and canted doorways and windows. Recommend having a building contractor or structural engineer (PE) evaluates flooring and foundation cracks.

#### CONCERNS:

1. There were several handyman installed junction boxes in the closed in an open access panel. Have a licensed electrician evaluate and make repairs for safety; unconventional wiring.
2. The moisture meter pinned when ceiling water stains tested; active roof leaks. See roofing section comments.



Figure 24 Electrical wiring inside wall; safety concerns. Recommend an electrician evaluate & repair.

Continued . .





## #4 BEDROOM REAR LEFT

### LOCATION: REAR LEFT BLUE

**Walls & Ceiling:**  Satisfactory  Marginal  Poor  
**Moisture stains:**  Yes  No Where:  Squeaks  Slopes  
**Floor:**  wall to wall carpet  Marginal  Poor  No  
**Typical cracks:**  Yes  No  
**Ceiling Fan:**  N/A  Satisfactory  Marginal  Poor  
**Electrical:** **Switches:**  Yes  No **Outlets:**  Yes  No **Operates:**  Yes  No  
**Open ground/Reverse polarity:**  Yes  No  Cover plates missing  Safety Hazard  
**Heating/Cooling Source:**  Yes  No **Holes:**  Doors  Walls  Ceilings  
**Bedroom Egress Restricted:**  N/A  Yes  No  
**Doors & Windows:** Operational:  poor Broken Vapor Seals :  Yes  No  N/A  
Locks/Latches Operable:  Yes  No  Missing  Cracked Glass

### GENERAL COMMENTS

**#4 BEDROOM :** See heating section comments; freeze damaged baseboards and plumbing throughout the home. There was sloped flooring in this room, second floor and throughout the home. See structural comments; further evaluate sloped flooring, canted doorways, foundation cracks, etc. by a building contractor and structural engineer (PE) before closing & contractual limitations.

#### CONCERNS:

1. There was sloped flooring in this room, second floor and throughout the home. See structural comments; further evaluate sloped flooring, canted doorways, foundation cracks, etc. by a building contractor and structural engineer (PE) before closing & contractual limitations.



Figure 25 Sloped flooring, squeaking, and deflection or bounce when walked upon flooring.

**WINDOWS/FIREPLACES/HALL/ATTIC****INTERIOR WINDOWS / GLASS**

**Condition:**  Satisfactory  Marginal  Poor  Needs repair  Painted shut (See remarks page)  
 Representative number of windows operated  Ask if windows under warranty  
**Evidence of Broken Vapor seals :**  Yes  No  N/A **Safety Glazing Needed:**  Yes  No  
 Glazing compound needed  Cracked glass  Hardware missing  Broken counter-balance mechanism  
**Security Bars Present:**  N/A  Yes  No  Not tested  Safety hazard  Test release mechanism before moving in

**FIREPLACE**  None Location(s): finished basement

Recommend having flue cleaned and re-examined

**Type:**  Gas (Not Tested)  Wood  Wood burner stove (See remarks page)  Electric  Ventless

**Material:**  Masonry  Metal (pre-fabricated)  Metal insert

**Miscellaneous:**  Blower built-in Operates:  Yes  No **Damper operates:**  Yes  No

Open joints or cracks in firebrick/panels should be sealed  Fireplace doors need repair

**Damper Modified for Gas Operation:**  Yes  No  N/A  Damper missing  Pre-fab panels damaged/worn

**Hearth Adequate:**  Yes  No **Mantle:**  N/A  Satisfactory  Adequate  Loose/missing

**Physical Condition:**  Satisfactory  Marginal  Poor

**STAIRS / STEPS / BALCONIES**

Satisfactory  Marginal  Poor  None

Stairs/steps can be hazardous when open risers/not boxed in, smooth or slick varnished or painted surfaces or carpeting. Follow-up with a building contractor to evaluate for **non-slip treads** to ensure safety. Use caution with shoes or footwear that can also pose a slip/fall hazard. Be careful when ascending and descending on staircase.

Open risers may be potentially dangerous when designed or built with open treads

**Handrail:**  Satisfactory  Marginal  Poor  Safety hazard  Loose; secure properly

**Risers/Treads:**  Satisfactory  Marginal  Poor  Risers/Treads uneven/unsafe

**SMOKE / CARBON MONOXIDE DETECTORS** (See remarks page)

**Present:** Smoke Detector:  Yes  No **Operates:**  Yes  No  Not tested

CO Detector:  Yes  No **Operates:**  Yes  No  Not tested

Security systems, fire suppression and the like are not part of a home inspection (see contract). Follow up with the provider for these features in home to have them inspected or evaluated.

Not tested; Should be performed by Local/State municipality prior to Occupancy.

**ATTIC/STRUCTURE/FRAMING/INSULATION**  N/A

**Access:**  Stairs  Pull down  Scuttle hole/Hatch  No access  Other

**Inspected From:**  Access panel  In the attic- limited\*\*  Other

**Location:**  Bedroom hall  Bedroom closet  Garage  Other

**Access Limited By:** thin/loose boards- unsafe footing\*\*

**Flooring:**  Complete  Partial  some loose thin boards- do not step on these boards- unsafe

**Insulation:** Type: fiberglass  Batts  Loose Average inches: 4 Approx. R-rating: Unknown

Damaged  Displaced  Missing  Compressed  Recommend Baffles @ Eaves

**Installed In:**  Rafters  Walls  Between ceiling joists  Not visible

Recommend ventilation- perforated soffits were blocked with insulation/need baffles

**Note:** Insulations in older homes may be very little or non-existent in walls, ceilings, crawl or basement; not visible where finished or inaccessible. It is always recommended to conduct an energy audit with a contractor that provides that service.

**Ventilation:**  Poor ventilation- perforated soffits blocked with insulation

Recommend more Ventilation- too hot on a cold day compared to outside and house temperature

Maximum ventilation is always recommended to avoid shortening life of roof, avoid hot humid conditions conducive to mold growth, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage, etc. Discuss ventilation & insulation with a qualified contractor.

**Fans Exhausted To:**  N/A Attic:  Yes  No Outside:  Yes  No  Not visible

This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

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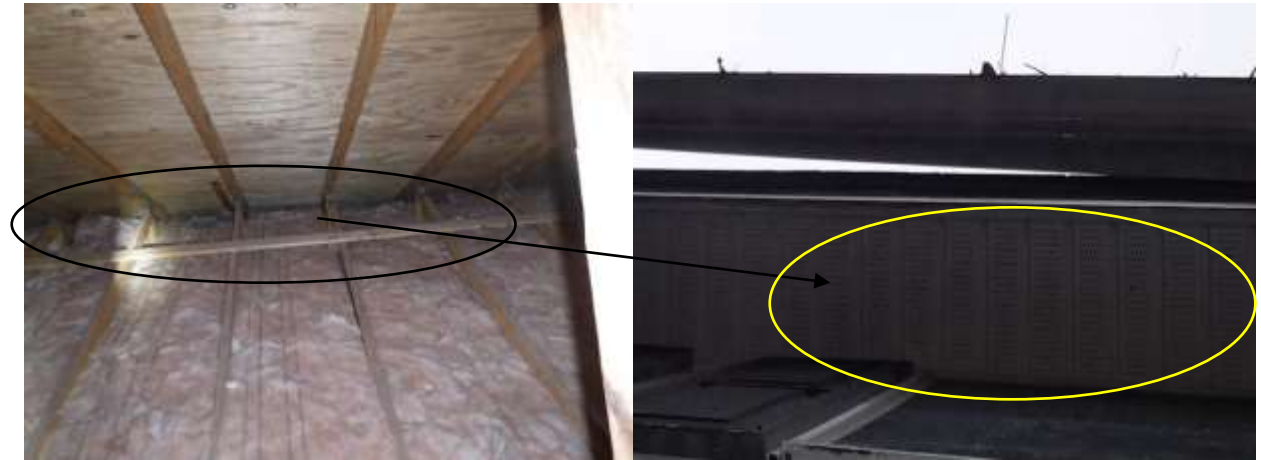
**HVAC Duct:**  Satisfactory  N/A  Split  Disconnected  Leaking  Repair/Replace  
**Chimney Chase:**  N/A  Satisfactory  Needs repair  Not visible  
**Structural Problems Observed:**  Yes  No  Recommend repair  Recommend Structural Engineer  
**Roof Structure:**  Modular construction  Trusses  Wood  Metal  Other  
**Collar Ties Present:**  Yes  No  N/A  
**Roof Sheathing:**  Plywood  OSB  1x Wood  Cedar shingles  Rotted  Stained  Delaminated  
**Evidence of Condensation/Moisture Leaking:**  Yes  No (*See remarks page*)  Possible Mold whenever there are leaks in home; testing and identification of mold and environmental hazards is NOT part of home inspection. Follow-up with an environmental testing contractor before closing for that type of inspection.  
**Ceiling Joists:**  Wood  Metal  Other  Not visible  
**Vapor Barriers:**  Kraft/foil faced  Plastic  Not visible  Improperly installed  
**Firewall Between Units:**  N/A  Yes  No  Needs repair/sealing (*See remarks page*)  
**Indication of Past fire damage**  Yes  No  Recommend checking with Local fire Marshall and Township  
**Electrical:**  Open junction box(es)  Handyman wiring  Visible knob-and-tube  Loose wires/live wires

### GENERAL COMMENTS

**WINDOWS/FIREPLACES/HALL/ATTIC:** There was sloped, squeaking, bounce flooring in the home and very noticeable on second floor center hall and the main 2<sup>nd</sup> floor bathroom. Recommend a building contractor and/or structural engineer (PE) further evaluate structure in home including foundation cracks and advise on structure, repairs or rule out hidden damage. The windows, exterior doors/sliders and garage doors were in poor condition; canted, broken vapor seals, difficult to open/close, broken sash strings, broken locks, daylight & drafts, broken glass, leaking, etc. Recommend a window & door installer, building contractor or carpenter and an overhead garage door company evaluate all windows, doors and garage doors for replacements. The building contractor and/or carpenter must determine extent of damage including concealed or hidden damage (water, wood destroying insects, mold like, etc.). The home had modular construction (two parts in attic and basement at ride and main beams. There was some separation or gaps on two halves; have a building contractor evaluate and advise on corrections. There was missing smoke and CO detectors in the home. Follow up with the township for requirements before closing. There were active leaks in attic and interior rooms of house; see roofing section comments. The perforated soffits were blocked with insulation and attic was not ventilated properly. There was no ridge ventilation and no gable vents, etc.; inadequate ventilation. The outside temperature and house was 50F and the attic was 67F and rising on a cold day and home without heat. Recommend baffles at eaves and a ridge vent with new roof. Discuss all options for ventilation with the roofer to maximize ventilation. Hot humid attics or poor ventilation shortens the life of a roof, conducive to mold like conditions and can potentially damage roof structure. Roofs should have maximum ventilation to avoid shortening life of roof, potential roof structure/heat damage and moisture build-up.

### CONCERNS:

1. The perforated soffits were blocked with insulation and attic was not ventilated properly. The outside temperature and house was 50F and the attic was 67F and rising on a cold day and home without heat. Recommend baffles at eaves to allow air flow in attic up to the ridge vent. Hot humid attics or poor ventilation shortens the life of a roof, conducive to mold like conditions and can potentially damage roof structure. Roofs should have maximum ventilation to avoid shortening life of roof, potential roof structure/heat damage and moisture build-up.
2. There was missing smoke and CO detectors in the home. Follow up with the township for requirements before closing.
3. There were active leaks in attic and interior rooms of house; see roofing section comments.
4. The windows, exterior doors/sliders and garage doors were in poor condition; canted, broken vapor seals, difficult to open/close, broken sash strings, broken locks, daylight & drafts, broken glass, leaking, etc. Recommend a window & door installer, building contractor or carpenter and an overhead garage door company evaluate all windows, doors and garage doors for replacements. The building contractor and/or carpenter must determine extent of damage including concealed or hidden damage (water, wood destroying insects, mold like, etc.).
5. There was sloped, squeaking, bounce flooring in the home and very noticeable on second floor center hall and the main 2<sup>nd</sup> floor bathroom. Recommend a building contractor and/or structural engineer (PE) further evaluate structure in home including foundation cracks and advise on structure, repairs or rule out hidden damage.
6. The home had modular construction (two parts in attic and basement at ride and main beams. There was some separation or gaps on two halves; have a building contractor evaluate and advise on corrections.



**Figure 26 Example of No baffles and insulation blocking perforated soffits, no ridge vent, no gable vent, no passive vents, no power fans, etc.; poor ventilation.**

## FINISHED BASEMENT

### STAIRS

- N/A  
**Condition:**       Satisfactory    Marginal    Poor    Worn/ Need repair  
**Handrail:**       Yes    No- add railing for safety   **Condition:**    Marginal    Loose/have secured  
**Headway Over Stairs:**    Satisfactory    *Low clearance*    *Safety hazard*

### FOUNDATION

- Condition:**    Satisfactory    Marginal    Poor- cracks/limited view/evaluate foundation cracks  
 *Finished Basement- inaccessible/concealed structure\**  
 *Have evaluated by structural professional to rule out any hidden damage before closing & contractual limitations\**  
 *Obtain closed permits for finished basement as required by township/Boro/city.*  
 *Finished basements should be properly heated/ventilated/cooled/humidity controlled to avoid mold like conditions, moisture & wood destroying insect damage, etc.*  
 *Observed **Mold like spotting, dark stains, Musty Odor- Have a mold contractor evaluate & advise on environmental testing, identification and mitigation if confirmed Mold or environmental hazardous substances***

### Material:

- Concrete block  
 Foundation inaccessible/structure inaccessible/ not readily accessible

### Horizontal Cracks:

- not ascertainable/not visible/inaccessible\*- finished basement

### Step Cracks:

- not ascertainable/not visible/inaccessible\*- finished basement

### Vertical Cracks:

- Yes- Limited view on sides of finished walls by access panels or mechanicals  
 not ascertainable/not visible/inaccessible\*- finished basement

### Covered Walls\*:

- Yes-**concealed structure\***    Ceilings, flooring/carpeting/walls\*  
 \*Concealed areas due to finished basement/inaccessible and cannot be viewed & not readily accessible. Have the structural foundation contractor, Structure Engineer, etc. rule out any concealed cracks or structural damage before closing & contractual limitations. There were foundation cracks visible on exterior and a limited view of some cracks in basement by access panels/mechanicals or edges of a finished wall

### Movement Apparent: Indication of Moisture:

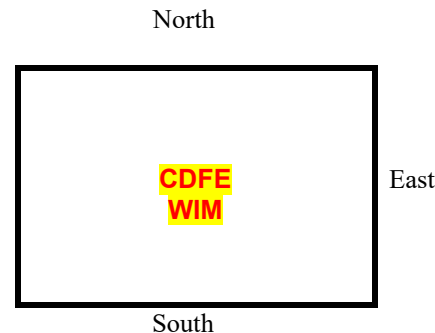
- not ascertainable- finished basement, storage, clutter, inaccessible, etc.  
 Yes; Active leaks (plumbing & heating distribution piping & baseboards) as well as seepage from exterior grading and roof/gutters, siding, windows & doors  
 Fresh    Old stains    Efflorescence, water stains, seepage, wet conditions  
 Recommend a Wet basement/crawl contractor/damp proofer evaluate for water management system(s) and advise to maintain dry conditions & structural integrity  
 Exterior poor/negative grading & drainage- have corrected by grading & drainage contractor  
 Gutters/roof drainage poor- have gutters evaluated/repaired/replace/extend 6-8ft.  
 Deck built on grade and runoff drains toward foundation/basement- conducive to seepage/wet conditions and potential structural damage

*Condition reported above reflects visible readily accessible portion only at time of inspection- further evaluate all inaccessible areas to rule out hidden structural damage before closing & contractual limitations.*

### BASEMENT/CRAWL SPACE WALLS

Diagram indicates where wall not visible and type of covering:

- |   |   |      |
|---|---|------|
| <b>F</b> = Flooring, carpet   | <b>C</b> = Crack(s)   |      |
| <b>D</b> = Drywall  | <b>W</b> = Wet, moisture, seepage, staining                   | West |
| <b>O</b> = Other  |   |      |
| <b>M</b> = Mold like stains & odor  | <b>E</b> = Evaluate plumbing & heating Leaks in home & cracks |      |
| <b>I</b> = Inaccessible structure-evaluate before closing & contractual limitation to rule out any concealed structural damage. |   |      |



**FLOOR**

**Material:**  Concrete covered with carpeting  Flooring/slab & structure inaccessible  
 Basement cluttered- floor, perimeter storage  Other

**Condition:**  Satisfactory  Marginal  Poor  Cracks

**Insulation Comments:**  All Crawl spaces & basements need to have proper vapor barrier(s), ventilation & insulation (between floor joists). Energy losses are not inspected or identified in a general inspection. Have an Energy audit performed on the home before closing to find areas that need improvement before closing. Contact your local Utility Company for information and Energy Audit contractors.

**SEISMIC BOLTS**

N/A

**BASEMENT DRAINAGE**

**Indication of moisture:**  Yes  Fresh  Old stains  Efflorescence, water stains, dark stains, etc.

Several Sources of leaks: Plumbing, Heating, seepage/grading, roof, windows & doors/siding/exterior

**Environmental Hazards:** Mold, etc. are **Not part** of a NJ Home Inspection (See Standards of Practice & Pre-Inspection Agreement)

**Possible mold-like:** There was suspicious black and brown spotting, dark stains, and a Musty Odor in the home on drywall and surfaces in the basement, garage (rafters, radon piping & fan) and interior rooms. Testing recommended and further evaluation by **qualified mold contractor**. Mold & environmental inspection & testing are beyond the scope of a home inspection. Follow-up with an environmental inspection & testing company especially since there was frozen piping on Plumbing and Baseboard heating system and active water leaks in the interior rooms.

Basements are not intended for legal bedrooms or living spaces unless deemed by Local Township, which requires Egress compliant windows among other requirements. Have township code official evaluate any basements for purpose other than mechanicals, electrical and utilities or laundry. Living in a basement may affect overall health and breathing.

**Sump Pump:**  Yes  No **Tested:**  Yes  No  Working  Not working  Needs cleaning

**Not required to test in a home inspection**  **Add a cover on sump for safety**

**Sump pit only- add pump**

**Add dedicated outlet for safety**  **Have plumber pipe sump to outside; should not be piped to municipality sewer (not legal in most NJ municipalities)**

**Floor Drains:**  Yes  No  Not visible  Efflorescence present  Recommend dehumidifier

**Note:** Under certain unforeseen weather conditions, future moisture and water infiltration can occur even if a basement has never had moisture in the past. Observing proper grading, drainage, working gutter systems and sump pumps is imperative in helping keep a basement dry. It is strongly recommended to install a Water Management System if not already present to avoid wet or flooded basements as well as mold and structural damage.

**GIRDERS / BEAMS / COLUMNS** **Material:**  Steel  Wood  Block  Concrete  **Not visible**

**Condition:**  Finished basement  Poor  Stained/rusted  **Structure inaccessible**

**JOISTS** **Material:**  Wood  Steel  Truss  **Not visible**  **Structure inaccessible**

Engineered I-Type  **Sagging/altered joists**

**Condition:**  Finished basement  Marginal  Poor

**(IF CHECKED) Wood destroying insect evidence was present: Sections of insulation/walls or ceilings must be removed to determine extent damage as per structural carpenter's evaluation. Hidden damage possible. Recommend structural engineer/licensed contractor evaluate and licensed treatment company exterminate prior to closing.**

**SUB FLOOR**

Indication of moisture stains/rotting on ceiling/tiles/walls/windows \*\* Areas around shower stalls, etc., as viewed from basement or crawl space. Have a structural carpenter/building contractor evaluate extent of water damage and repair

## GENERAL COMMENTS

**FINISHED BASEMENT :** There was water infiltration/seepage in basement and garage; negative grading, poor drainage, poor roof drainage (gutters & leaders), and trees, shrubs and overgrowth on property. Conditions are conducive to wet basement and mold like growth. There was suspicious black and brown spotting, dark stains, and a Musty Odor in the home on drywall and surfaces in the basement, garage (rafters, radon piping & fan) and interior rooms. Testing recommended and further evaluation by *qualified mold contractor*. Mold & environmental inspection & testing are beyond the scope of a home inspection. Follow-up with an environmental inspection & testing company especially since there was frozen piping with plumbing (piping, fittings, fixtures, etc.) and heating system (boiler, piping/fittings/baseboards). There was active plumbing and baseboard heating system leaks and water stains in the interior rooms. The home has been neglected or poorly maintained and systems & components were in poor condition. Systems include but are not limited to roof/gutters/ventilation, siding/trim/exterior, windows & doors/front door assembly, heating & cooling, radon mitigation system, interior/kitchen/bathrooms, grading & drainage and structure (sloped floors/deflection/squeaking, canted doorways, vertical/step cracks/differential settlement, separation on ridge boards in attic), wood destroying insects (termite, carpenter ant, carpenter bee), etc. The home is *uninhabitable* in current condition without properly functioning heat/cooling, plumbing, bathrooms, kitchen and exterior envelop protection (siding, doors, windows, roof, gutters, etc.). It is strongly recommended to have a qualified building contractor, heating contractor, licensed plumber and a structural engineer (PE) evaluate the home and advise on restoration of the home for habitability. Recommend observing proper grading and drainage on exterior to avoid water infiltration. Recommend cleaning and maintaining gutter and leaders for proper water drainage. Recommend a dehumidifier for moisture control as good practice. There were termite tubes in basement by the electrical panel. See separate NPMA-33 termite report.

### CONCERNS:

1. There was water infiltration/seepage in basement and garage; negative grading, poor drainage, poor roof drainage (gutters & leaders), and trees, shrubs and overgrowth on property. Conditions are conducive to wet basement and mold like growth.
2. There was suspicious black and brown spotting, dark stains, and a Musty Odor in the home on drywall and surfaces in the basement, garage (rafters, radon piping & fan) and interior rooms. Testing recommended and further evaluation by *qualified mold contractor*.



Figure 27 Termite tubes inside a gap in the foundation wall in basement. See separate NPMA-33 termite report.





**Figure 28** Mold-like spotting/staining; follow up with a mold/environmental contractor for mold evaluation ( beyond scope of a home inspection).



**Figure 29** Examples of ceilings that were found partially opened in the basement, water stains/leaks and plumbing exposed. The home was not properly winterized and leaking active throughout the home.



**Figure 30** Leaks and mold like substances in basement or in the home. Further evaluate by a mold contractor. See heating & plumbing section comments.



**Figure 31** Example of foundation cracks. Limited view due to finished basement. Recommend a structural engineer (PE) and building contractor further evaluate all foundation cracks and advise on repairs before closing.



**Figure 32 Example of seepage in basement; limited access by mechanicals or utility areas.**

## PLUMBING

### WATER SERVICE

**Main Shut-off Location:** basement- meter was found apart/removed & a plug on street side  
 No Water or heat in the home at time of inspection

All home will have plumbing repairs/upgrades at some point- monitor plumbing

**Water Entry Piping:**  Not visible  Copper/Galv.  Plastic\* (PVC, CPVC, Polybutylene, PEX)  Unknown

**Visible Water Distribution Piping:**  Copper  Galvanized  Plastic\* (PVC, CPVC, Polybutylene, PEX)  Unknown

**Condition:**  Leaks/water stains active in home ( plumbing & heating piping, fixtures. Fittings, distribution)  
 Poor- active leaks in the home, water in ruptured plumbing, piping and baseboards  
 Frozen fixtures/broken spigots, etc.

**Lead Other Than Solder Joints:**  Yes  No  Unknown  Service entry

**Functional Flow:**  Adequate  Low  Poor  No water in home  Water pressure over 80 psi; high

**Pipes, Supply/Drain:**  Corroded  Leaking- Active leaks in home  Valves broken/missing

Ruptured/frozen plumbing & heating in home

**Drain/Waste/Vent Pipe:**  Copper  Cast iron  Galvanized  PVC  ABS

**Condition:**  Poor  Leaking/damaged plumbing in home **Cross connection:**  not visible

**Support/Insulation:** Type: ---

**Traps Proper P-Type:**  N/A  Yes  No; some S-type or other  P-traps recommended

**Functional Drainage:**  Adequate  Poor  No water in home at time of inspection

Recommend plumber evaluate entire plumbing system/distribution, fixtures, fittings, valves, bathrooms, kitchen, appliances, appliances & hook-ups and advise on all mitigation due to frozen piping in home

**Interior Fuel Storage System:**  Yes  No Leaking:  Yes  No

**Gas Line:**  Copper  Brass  Black iron  Stainless steel  Flexible CSST (yellow)  Not visible

**Condition:**  Satisfactory  Marginal  Poor

NOTE: T-Valves, ball valves, gate valves or any shut off valves, are not tested in a New Jersey home inspection.

### MAIN FUEL SHUT-OFF LOCATION FIXTURES IN HOME

Outside by gas meter  N/A

All plumbing and upgrades must be installed by licensed plumber and with permits when renovated.

**Note:** Fixtures in home are not inspected for product brand, quality, manufacturer, expected life or predicted failure. Fixtures are tested for adequate flow, adequate drainage and any noted leaks or corrosion at time of inspection. If brand and life service is a concern, obtain information and warranty from sellers before closing.

### WELL PUMP

N/A  Submersible

Well system and water testing not part of NJ home inspection. Well inspection and water testing should be conducted prior to closing.

### SANITARY / GRINDER PUMP

finished basement – for bathroom

**Sealed Crock:**  Yes  No **Check Valve:**  Yes  No **Vented:**  Yes  No

### WATER HEATER #1

N/A **Condition:**  Poor- replace water heater/past life

**Brand name:** Rheem

**Type:**  Gas  Power vented to outside wall

**Unit Elevated:**  Yes  No  N/A  Tank/Piping corroded/leaking

**Capacity:** 40 gallons **Approximate age: ~25 year(s)- past life/poor condition/replace**

**Combustion Air Venting Present:**  Yes  No  N/A **Seismic restraints needed:**  Yes  No  N/A

**Relief Valve:**  Yes  No **Extension proper:**  Yes  No  Missing  Recommend repair

**Vent Pipe:**  N/A  Marginal  Pitch proper  Improper  Rusted  Recommend repair

### WATER SOFTENER

(Unit not evaluated)  N/A- recommended – calcium/mineral deposits on plumbing & fixtures in the home

**Loop Installed:**  Yes  No **Plumbing Hooked Up:**  Yes  No

**Softener Present:**  Yes  No **Plumbing Leaking:**  Yes  No

**NOTE:** Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the

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home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumber in home. Plumbing code or any other code inspection is NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection.

#### GENERAL COMMENTS

**PLUMBING:** The home has been vacant, no heat and no water at time of inspection. The water meter was found apart/removed and a plug in pipe on street side. The home was not properly winterized; frozen/ruptured plumbing, fixtures, hydronic baseboard heating components & distribution piping, fitting, etc. There was visible water inside numerous ruptured baseboards from basement up to the second floor. There was leaking from the old corroded boiler off the TPR & pipe extension. Walls and ceilings should be opened up to determine the extent of water damage, baseboard/distribution and boiler replacement as well as plumbing or piping distribution to all points of water use (bathrooms, kitchen, laundry, exterior hose bibs, boiler, water heater, etc.). Leaking in the home was active and coming from several sources : plumbing, hydronic baseboard heat, roof, siding, windows and doors. The water heater was approximately 25 yrs. old and poor condition; past life replace unit. There were frozen/broken spigots/tub fixture, active leaking plumbing throughout the home. Recommend a licensed master plumber evaluate the plumbing and heating and advise on repairs/replacements.

#### CONCERNS:

1. The home has been vacant, no heat and no water at time of inspection. The water meter was found apart/removed and a plug in pipe on street side. The home was not properly winterized; frozen/ruptured plumbing, fixtures, hydronic baseboard heating components & distribution piping, fitting, etc. There was visible water inside numerous ruptured baseboards from basement up to the second floor. There was leaking from the old corroded boiler off the TPR & pipe extension. Walls and ceilings should be opened up to determine the extent of water damage, baseboard/distribution and boiler replacement as well as plumbing or piping distribution to all points of water use (bathrooms, kitchen, laundry, exterior hose bibs, boiler, water heater, etc.). Leaking in the home was active and coming from several sources : plumbing, hydronic baseboard heat, roof, siding, windows and doors. The water heater was approximately 25 yrs. old and poor condition; past life replace unit. There were frozen/broken spigots/tub fixture, active leaking plumbing throughout the home. Recommend a licensed master plumber evaluate the plumbing and heating and advise on repairs/replacements.



Figure 33 Water meter was apart and plugged on street side.

**HEATING****HEATING SYSTEM - UNIT #1**Location: **basement**

(See remarks page)

**BOILER SYSTEM** N/A**Brand Name:****Burnham**

Approximate age: ~1993 year(s)- Poor condition

 25 yrs.- poor condition/leaking from the TPR extension pipe/valve into a pan filled with water**Carbon Monoxide:** N/A Detected at Plenum/Register Not tested**CO Test:** Yes  No**Combustion Air Venting Present:**  Yes  No  N/A**Energy Source:** Gas LP Oil Electric**Distribution:** Hot water Baseboard - Frozen piping/ruptured copper & water inside baseboards**Circulator:** Pump Gravity Multiple zones**Controls:**

Temp/pressure gauge exist:

 Yes  No**Operating:** Yes No heat in home**Oil Fired Units:**Disconnect:  Yes  No**Combustion Air Venting Present:** Yes No N/A**Relief valve:** Yes- Leaking into a pan on floor

Extension proper:

 Yes No**Operated:****When turned on by thermostat:** Fired Did not fire Not functioning and ruptured/frozen baseboards & distribution plumbing (piping, fittings, valves, etc.)**Operation:**Satisfactory:  Yes No Heat and No water in home at time of inspection

**Recommend HVAC technician examine yearly, obtain township code inspections for Fire and HVAC sub codes prior to closing. The inspection is not required to determine heat supply adequacy or distribution balance for the home or building. Have an HVAC contractor or boiler contractor evaluate the adequacy and required size needed before closing.**

**Recommend a qualified Heating Contractor/boiler contractor evaluate boiler, baseboards & distribution plumbing for replacement.**

**Recommend opening up walls & ceilings to determine extent of damage from active plumbing & heating leaks.**

**OTHER SYSTEMS** N/A Electric baseboard Radiant ceiling cable**GENERAL COMMENTS**

**HEATING:** Recommend a property tank sweep to rule out any possibility of buried oil tank before closing and contractual limitations. The home was not properly winterized and boiler was in poor condition; frozen/ruptured plumbing, fixtures, hydronic baseboard heating components & distribution piping, fitting, etc. There was visible water inside numerous ruptured baseboards from basement up to the second floor. The 25 yr. old corroded Burnham boiler was leaking off the TPR & pipe extension, scorch marks on wires, patched/soldered copper piping, dissimilar metal & no dielectric unions, soots & rust under/on the burners, etc; poor condition. Recommend a qualified boiler/ heating contractor and licensed plumber evaluate the boiler, piping and distribution/baseboards for system replacement. Walls and ceilings should be opened up to determined the extent of water damage, baseboard/distribution and boiler replacement as well as replacement of plumbing or piping distribution to all points of water use (bathrooms, kitchen, laundry, exterior hose bibs, boiler, water heater, etc.). The water meter was found removed and a plugged on street side of pipe.

The home is uninhabitable in current condition without properly functioning heat/cooling, plumbing, bathrooms, kitchen and exterior envelop protection (siding, doors, windows, roof, gutters, etc.). It is strongly recommended to have a qualified building contractor, heating contractor, licensed plumber and a structural engineer (PE) evaluate the home and advise on restoration of the home for habitability. See pg.2 *overview and main concerns* and read entire report.

**CONCERNS:**

1. The home was not properly winterized and boiler was in poor condition; frozen/ruptured plumbing, fixtures, hydronic baseboard heating components & distribution piping, fitting, etc. There was visible water inside numerous ruptured baseboards from basement up to the second floor. The 25 yr. old corroded Burnham boiler was leaking off the TPR & pipe extension, scorch marks on wires, patched/soldered copper piping, dissimilar metal & no dielectric unions, soots & rust under/on the burners, etc; poor condition. Recommend a qualified boiler/ heating contractor and licensed plumber evaluate the boiler, piping and distribution/baseboards for system replacement.

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2. Walls and ceilings should be opened up to determined the extent of water damage, baseboard/distribution and boiler replacement as well as replacement of plumbing or piping distribution to all points of water use (bathrooms, kitchen, laundry, exterior hose bibs, boiler, water heater, etc.). The water meter was found removed and a plugged on strret side of pipe.



**Figure 34** Scorch marks on plastic wire sheathing near patched copper piping/solder. Piping on boiler had corrosion and dissimilar metals (galvanized and copper) and no dielectric insulators/unions; improper. Boiler was leaking, corrosion, soot & rust particulates on burners, etc.; past life and poor condition. Home was not properly winterized and water visible in ruptured baseboards throughout the home.





## COOLING

**COOLING SYSTEM – UNIT #1**     Central system     Wall Unit     No Central A/C Location: --- Age: --- yrs.

**Energy Source:**     Electric     Gas     Water     Other

**Unit Type:**     Air cooled     Water cooled     Gas chiller     Geothermal     Heat pump

**Evaporator Coil:**     Satisfactory     Not visible     Needs cleaning     Damaged

**Refrigerant lines:**     *Leak*     *Damage*     *Insulation missing*     Satisfactory

**Condensate Line/Drain:**     To exterior     To pump     Floor drain     Laundry sink     Other

**Temperature Differential :**    Unit 1 ??? °F

Difference in temperature (split) should be 15-22° Fahrenheit (*See remarks page*)

**Compressor Condition:**     Satisfactory     Marginal     Poor     Rusted     Damaged

**Operation:**    Satisfactory:     Yes     No     *Not operated due to exterior temperature*

**Recommend HVAC technician examine/clean/service yearly. The cooling system or A/C cannot be operated in winter to avoid damage to the system and condenser. Test system in warmer weather when seasonal and able to test. The coolant system should be checked before cooling season for leaks and proper coolant levels every year; coolant can leak out and fittings loosen after winter.**

**Note:** If present, through wall and window A/C units produce moisture and may potentially leak into interior walls and window openings. This moisture can cause damage to adjacent structural members. The damage is often not visible and can go undetected unless the A/C unit(s), wall coverings, flooring and siding are removed. Such removal is not feasible during a home inspection and therefore is limited or not possible to see inside of walls. Further investigation is always recommended to rule out water or condensation damage. Units should be removed periodically to inspect inside of walls.

### GENERAL COMMENTS

**COOLING :** There was no central A/C or cooling system in the home.

**ELECTRICAL**

**MAIN PANEL** Location: **basement disconnect** Condition:  Satisfactory  Marginal  
**Adequate Clearance To Panel:**  Yes  No Amperage: **200** Volts 120/240  Breakers  Fuses  
**Appears Grounded:**  Yes  No  Not visible  
**G.F.C.I. present:**  Yes  No **Operative:**  Yes  No  
**A.F.C.I. present:**  Yes  No **Operative:**  Yes  No  
**MAIN WIRE:**  Copper  Aluminum  Copper clad aluminum  Tin clad copper  Not visible  
 *Tapping before the main breaker*  *Double tapping of the main wire*  
**Condition:**  Satisfactory  Poor  **Federal Pacific Panel Stab Lok® (See remarks page)\***  
**Predominant BRANCH WIRE:**  Copper  **Aluminum\***  Copper clad aluminum  Not visible  
**Condition:**  Satisfactory  Poor  **Recommend electrician evaluate/repair\***  
 Romex  BX cable  Conduit  **Knob & tube\*\***  
 Read **REMARKS** addendum to report- "tripping breakers"

**SUB PANEL(S)**  None apparent  Breakers  Fuses

**ELECTRICAL FIXTURES**

A representative number of installed lighting fixtures, switches, and receptacles located inside the house, garage, and exterior walls were tested and found to be:

**Condition:**  Satisfactory  Marginal  old outlets, switches, fixtures removed, etc.  
 Open grounds  Reverse polarity  GFCIs not operating  
 **Solid conductor aluminum branch wiring circuits\* (See remarks page)**  
 Handyman wiring/unsafe  **Recommend electrician evaluate/repair\***

**GENERAL COMMENTS**

**ELECTRICAL:** There were several light bulbs or fixtures in home not working. The wiring under sink was unsafe/handyman/dangerous. The outlets on kitchen counter top did not trip when GFCI outlet tested; unsafe. There were wires hanging out of ceiling; unsafe. Have a licensed electrician evaluate/repair/correct for safety. The lights go off in the main bathroom on 2<sup>nd</sup> floor when the GFCI outlet tested/tripped. Recommend a licensed electrician evaluate for separation. There were several handyman installed junction boxes in the closed in an open access panel in bedroom # 3. Have a licensed electrician evaluate and make repairs for safety; unconventional wiring. The electrical service entry should have putty replaced whenever cracked to maintain water tight seals and avoid water entry into the electrical panel. Each family has different electrical requirements or needs. If more power is needed, discuss needs with electrician and have added. Do not use extension cords, multiplier adapters or power strips to add more power; fir safety concern. If a breaker or circuit is tripped more than once, it is recommended to have an electrician evaluate circuits and have items separated by a licensed electrician. Items such a sump pumps, garage door openers, A/C units, stoves refrigerators or other heavy draw appliances should be on separate dedicated circuits.

**CONCERNS:**

1. There were several light bulbs or fixtures in home not working. The wiring under sink was unsafe/handyman/dangerous. The outlets on kitchen counter top did not trip when GFCI outlet tested; unsafe. There were wires hanging out of ceiling; unsafe. Have a licensed electrician evaluate/repair/correct for safety. The lights go off in the main bathroom on 2<sup>nd</sup> floor when the GFCI outlet tested/tripped. Recommend a licensed electrician evaluate for separation. There were several handyman installed junction boxes in the closed in an open access panel in bedroom # 3. Have a licensed electrician evaluate and make repairs for safety; unconventional wiring.